

SUMMARY OF PROPOSED COMMITTEE DRAFT:

Resolution 19-43

GRANTING A SPECIAL MANAGEMENT AREA USE PERMIT TO ALLOW THE RENOVATION OF TWO EXISTING SINGLE-FAMILY DWELLING UNITS, CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING UNIT AND VARIOUS IMPROVEMENTS IN MAUNALUA.

THE PROPOSED CD1 makes the following amendments:

- A. Revises the resolution title and first WHEREAS clause to clarify the description of the Project.
- B. Adds February 14, 2019 as the date the DPP completed its report and transmitted its findings and recommendation of approval to the Council.
- C. Adds February 21, 2019 as the date the Council received the DPP's findings and recommendation by Departmental Communication 112 (2019).
- D. Conforms Condition A (relating to general conformity of the Project) and Condition E (relating to the Hawaiian hoary bat habitat) to the standard language used in SMA Use Permit resolutions.
- E. In Condition B.2, clarifies that the ILS is intended to expedite future reviews by the SHPD Architecture Branch, and assist in determining whether buildings on the Project site may qualify for dedication as a historic residential property for purposes of a real property tax exemption pursuant to ROH Section 8-10.22.
- F. In Condition C.1, clarifies that the lowest livable floor at the Harbor Villa residence must be above the base flood elevation, as determined on the submission date of the building permit application.
- G. In Condition C.2, clarifies that all walls, fences and gates within the required yards, particularly with respect to the Harbor Villa residence and Portlock residence, must not exceed six feet in height.
- H. In Condition G, adds that all outdoor light fixtures must be fully shielded with the light directed downward so that the light bulb is only visible from below the light fixture.
- I. Makes miscellaneous technical and nonsubstantive amendments.



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. 19-43, CD1
PROPOSED

RESOLUTION

GRANTING A SPECIAL MANAGEMENT AREA USE PERMIT TO RENOVATE TWO EXISTING SINGLE-FAMILY DWELLING UNITS, CONSTRUCT A NEW SINGLE-FAMILY DWELLING UNIT, AND MAKE VARIOUS IMPROVEMENTS IN MAUNALUA.

WHEREAS, on October 31, 2018, the Department of Planning and Permitting ("DPP") accepted the application (DPP Reference Number 2018/SMA-58) from Evershine II L.P. ("Applicant") for a Special Management Area ("SMA") Use Permit to renovate two existing single-family dwellings ("Harbor Villa residence" and "Portlock residence"); construct a new single-family dwelling with an attached three-car garage ("Bay Villa residence"); construct ancillary structures, including but not limited to two swimming pools, wine storage, a detached multiple-car garage, a badminton court, a bowling alley, and two cabanas; and repair existing structures within the shoreline setback area on 5.40 acres of land zoned R-10 Residential District, located in Maunaloa, East Oahu, and identified as Tax Map Keys 3-9-026: 044 through 048 (the "Project"); and

WHEREAS, on January 14, 2019, the DPP held a public hearing which was attended by representatives of the Applicant's agent and DPP staff members; no members of the public attended the hearing, and no written testimony was received; and

WHEREAS, on February 14, 2019, within 20 working days after the close of the public hearing, the DPP, having duly considered all evidence and the objectives, policies and guidelines, as established in Sections 25-3.1 and 25-3.2 of the Revised Ordinances of Honolulu ("ROH"), and Sections 205A-2 and 205A-26 of the Hawaii Revised Statutes ("HRS"), completed its report and transmitted its findings and recommendation of approval to the City Council; and

WHEREAS, the City Council, having received the findings and recommendation of the DPP on February 21, 2019, by Departmental Communication 112 (2019), and having duly considered all of the findings and reports on the matter, desires to approve the subject application for an SMA Use Permit with the conditions enumerated below; now, therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that an SMA Use Permit be issued to the Applicant for the Project, subject to the following conditions:

- A. Development of the Project must be in general conformity with the Project as recommended by the DPP in the DPP's findings and recommendation referenced



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above, and as depicted in Exhibits B-1 through B-28, attached hereto and incorporated herein by this reference. Any change in the size or nature of the Project that has a significant effect on coastal resources addressed in ROH Chapter 25 or HRS Chapter 205A, or both, will require a new application and SMA Use Permit. Any change that does not have a significant effect on coastal resources will be considered a minor modification and therefore permitted under this resolution, upon review and approval of the DPP Director.

- B. Prior to issuance of any building permit for the Project, the Applicant shall:
1. Complete an archaeological inventory survey ("AIS") for the Project site to identify and document any potential surface or subsurface historic properties, and to determine appropriate mitigation. The Department of Land and Natural Resources, State Historic Preservation Division ("SHPD") must be contacted prior to initiation of the AIS, and an AIS report must be submitted to the SHPD for review and acceptance pursuant to HRS Section 13-284; and
 2. Complete an intensive level survey ("ILS") to determine whether any of the buildings on the Project site are eligible for the Hawaii or National Registers of Historic Places. The ILS is intended to expedite future reviews by the SHPD Architecture Branch, and assist in determining whether buildings on the Project site may qualify for dedication as a historic residential property for purposes of a real property tax exemption pursuant to ROH Section 8-10.22.
- C. Building permit application plans must show the following:
1. The lowest livable floor at the Harbor Villa residence must be above the base flood elevation, as determined on the submission date of the building permit application; and
 2. All walls, fences and gates within the required yards, particularly with respect to the Harbor Villa residence and Portlock residence, must not exceed six feet in height.
- D. The Applicant shall conduct archeological monitoring during construction activities. If, during construction, any previously unidentified archaeological sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings or walls) are encountered, the Applicant shall stop work and contact the SHPD immediately. Work in the immediate area must



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be stopped until the SHPD is able to assess the impact and make further recommendations for mitigative activity.

- E. To minimize impacts to the Hawaiian hoary bat's habitat, the Applicant shall take special care when trimming or clearing woody plants greater than 15 feet in height. Woody plants greater than 15 feet in height must not be disturbed, removed, or trimmed during the bat birthing and pup rearing season from June 1 through September 15.
- F. Under no circumstances may construction activity on the Project site hinder public access to the shoreline.
- G. Artificial light from exterior light fixtures, including, but not necessarily limited to floodlights, uplights or spotlights used for decorative or aesthetic purposes, shall be prohibited, if the light directly illuminates or is directed to project across property boundaries toward the shoreline and ocean waters, except as may otherwise be permitted pursuant to HRS Section 205A-71(b).

All outdoor light fixtures must be fully shielded with the light directed downward so that the light bulb is only visible from below the light fixture.

- H. Approval of this SMA Use Permit does not constitute compliance with the Land Use Ordinance ("LUO") or other governmental requirements, including but not limited to grading, grubbing, and building permit approvals. They are subject to separate review and approval. The Applicant shall be responsible for ensuring that the final plans for the Project approved under this SMA Use Permit comply with all applicable LUO and other governmental provisions and requirements.
- I. The Applicant shall obtain a development permit for the Project within two years after the effective date of this SMA Use Permit. Failure to obtain a development permit within this period shall render this SMA Use Permit null and void; provided that this period may be extended as follows: The DPP Director may extend this period if the Applicant demonstrates good cause, but the period must not be extended beyond one year from the initial deadline set by the City Council.

If the Applicant demonstrates good cause for an extension exceeding one year, the Director shall prepare and submit to the Council a report on the proposed extension, which report must include the Director's findings and recommendations thereon. The Council may approve the proposed extension or an extension for a shorter or longer period, or deny the proposed extension, by adoption of a committee report or resolution. If the Council fails to take final



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
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action on the proposed extension within the first to occur of: (1) 60 days after receipt of the Director's report; or (2) the Applicant's then-existing deadline for obtaining a building permit, the extension will be deemed to be denied; and

BE IT FINALLY RESOLVED that copies of this resolution be transmitted to Dennis Silva, Jr., Hawaii Planning, LLC, 1031 Nuuanu Avenue, Suite 2306, Honolulu, Hawaii 96817; Laura Brancato, SL Development, LLC, 6021 173rd Avenue SE, Bellevue, Washington 98006; Kathy K. Sokugawa, Acting Director of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; and Leo R. Asuncion, Jr., Director of the Office of Planning, Attention: Coastal Zone Management Branch, P.O. Box 2359, Honolulu, Hawaii 96804.

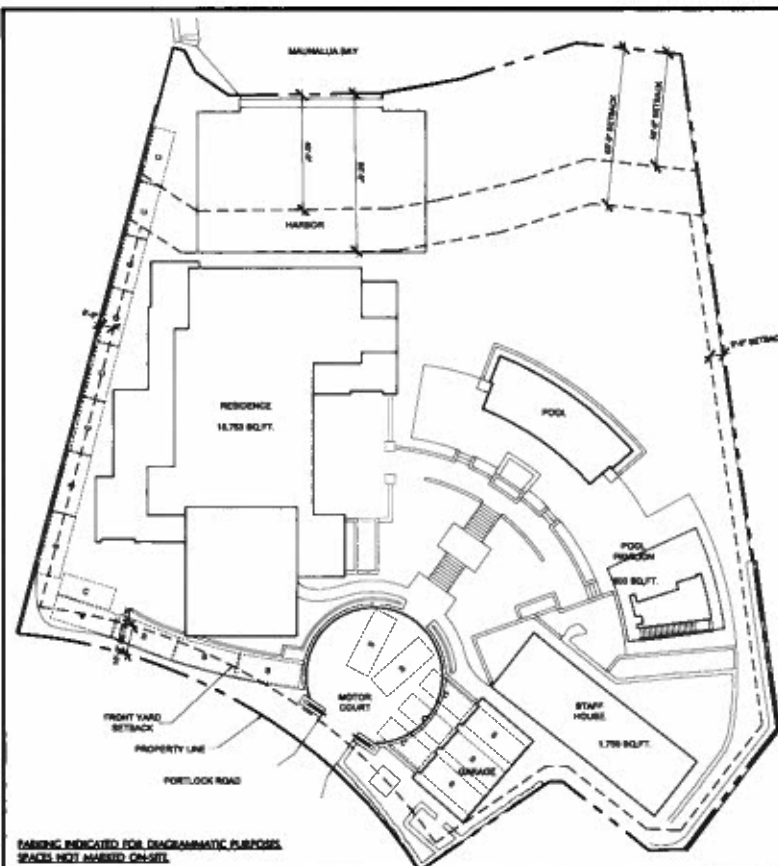
INTRODUCED BY:

Ann Kobayashi (br)

DATE OF INTRODUCTION:

February 21, 2019
Honolulu, Hawaii

Councilmembers



PARKING INDICATED FOR DIAGNOSTIC PURPOSES
SPACES NOT MARKED ON-SITE

SITE PLAN SETBACK DIAGRAM SCALE 1" = 30' 4

HARBOR VILLA HARDSCAPE

Driveway Area: 7,344 SQ. FT.
Hardscape Area: 18,480 SQ. FT.

Hardscape Area: 18,480 SQ. FT. 10% Hardscape Area

Hardscape Area: 20,576 SQ. FT. 12% Hardscape Area Coverage
Hardscape Area: 20,576 SQ. FT. 12% Hardscape Area Coverage

PAV: 21,216 SQ. FT. - 10%
PAV: 21,216 SQ. FT. - 10%

Compact Parking: Compact
Standard Parking: Standard

FLOOR AREA TABULATIONS

HARBOR LEVEL

Floor Area: 2,741 SQ. FT.
Covered Deck Area: 699 SQ. FT.
Sub-Total: 3,440 SQ. FT.

SECOND FLOOR

Floor Area: 4,564 SQ. FT.
Covered Deck Area: 441 SQ. FT.
Sub-Total: 5,005 SQ. FT.

THIRD FLOOR

Floor Area: 8,581 SQ. FT.
Sub-Total: 8,581 SQ. FT.

POOL DECK LEVEL

Floor Area: 1,448 SQ. FT.
Covered Deck Area: 389 SQ. FT.
Sub-Total: 1,837 SQ. FT.

Main House Total
Floor Area: 18,866 SQ. FT.

Pool Pavil.
Floor Area: 1,776 SQ. FT.
Pool Pavilion Floor Area: 600 SQ. FT.

Grand Total Floor Area: 21,216 SQ. FT.

Table 21-4.1

Off-Street Parking Requirements

One (1) space, detached, duplex, and townhouse per unit plus (1) per 1,000 square feet over 2,500 square feet. (Excluding carport or garage)

CALCULATIONS

MAIN HOUSE
BASE REQUIREMENT = (2 Spaces)

STAFF HOUSE
BASE REQUIREMENT = (2 Spaces)

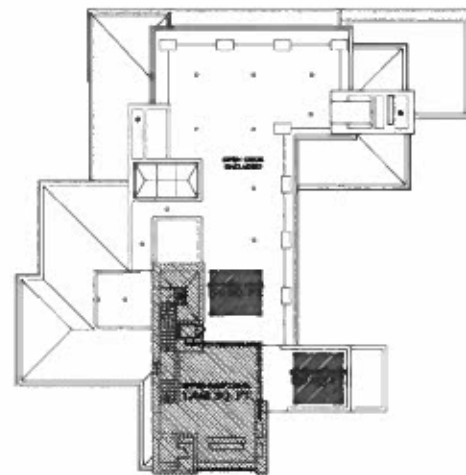
Additional Square Footage Requirement
18,866 sq. ft. Main House
600 sq. ft. Pool Pavilion
3,500 sq. ft. Garage
18,866 sq. ft. = 17 additional spaces

Total Off-Street Parking
Compact Parking: 10

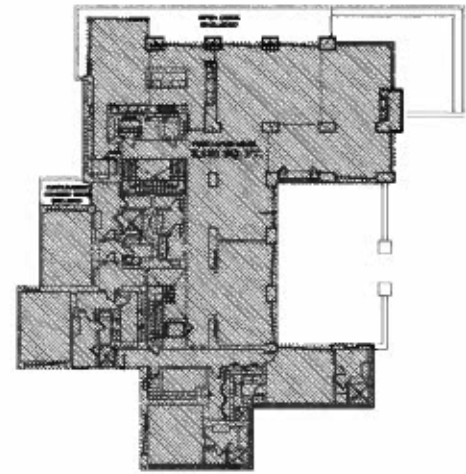
Total Off-Street Parking
Standard Parking: 11

Total Spaces: 21

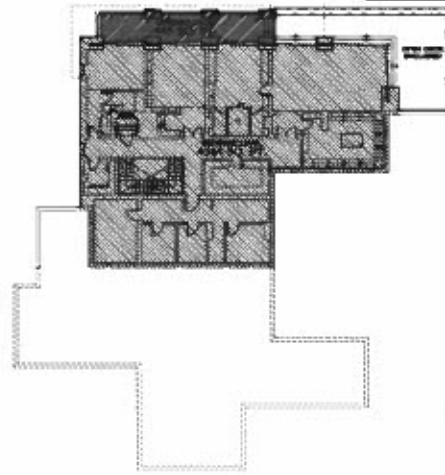
CALCULATIONS SCALE 1" = 30' 3



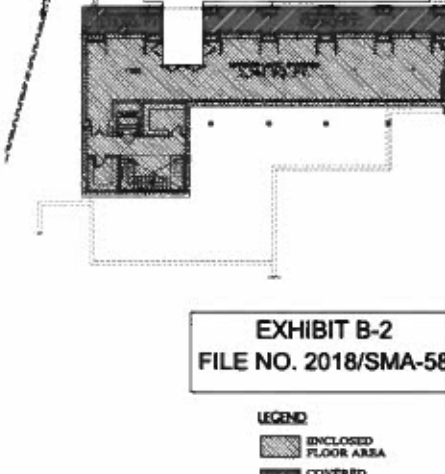
FOURTH FLOOR AREA



THIRD FLOOR AREA



SECOND FLOOR AREA



HARBOR LEVEL FLOOR AREA

EXHIBIT B-2
FILE NO. 2018/SMA-58

LEGEND

ENCLOSED FLOOR AREA
COVERED DECK AREA

FLOOR AREA TABULATIONS FLOOR PLAN DIAGRAMS SCALE 1" = 30' 2

REVISIONS



RICHARD MANION
ARCHITECTURE INC.

DESIGN ARCHITECT

RICHARD MANION ARCHITECTURAL, INC.

1000 WEST 10TH AVENUE, SUITE 100
LOS ANGELES, CALIFORNIA 90015
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FAX: (213) 888-1001

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ARCHITECTURE.

PROJECT TITLE AND ADDRESS

HARBOR VILLA

RENOVATION/REMODEL

1000 WEST 10TH AVENUE

LOS ANGELES, CA 90015

DATE: 01/18/2018

BY: RICHARD MANION

PROJECT NUMBER

2018/SMA-58

DATE: 01/18/2018

BY: RICHARD MANION

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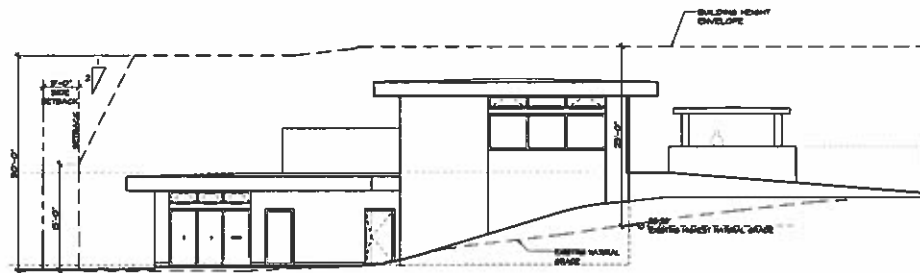
PROJECT NUMBER

2018/SMA-58

DATE: 01/18/2018

BY: RICHARD MANION

PROJECT TITLE AND ADDRESS



EAST ELEVATION

SCALE
1/4" = 1'-0"

1

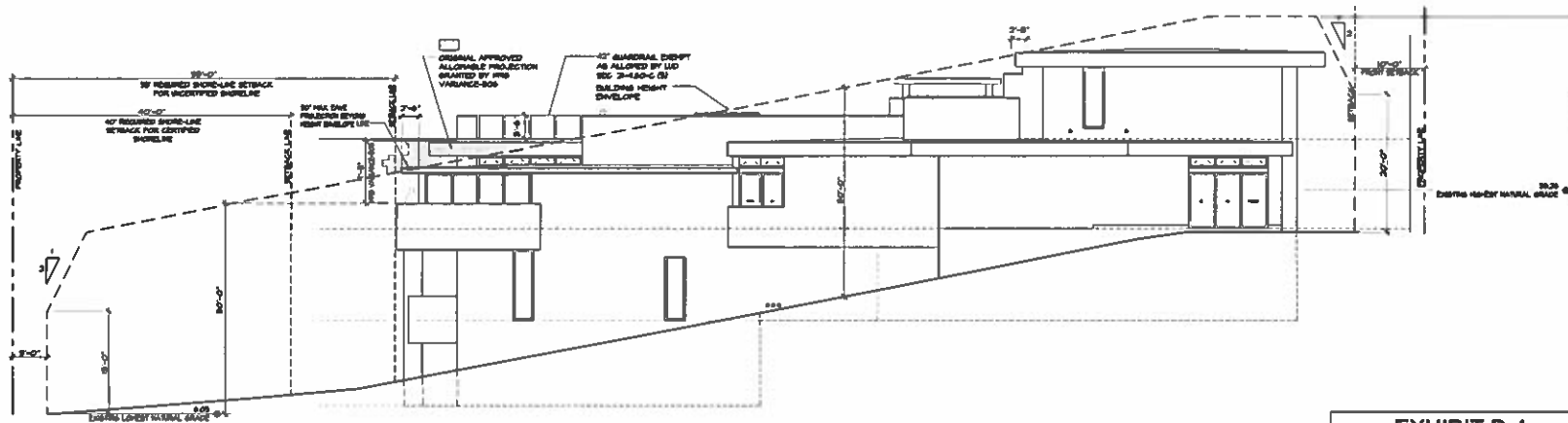


EXHIBIT B-4
FILE NO. 2018/SMA-58

SOUTH ELEVATION

SCALE
1/4" = 1'-0"

2



RICHARD MANION
ARCHITECTURE, INC.

OWNER ADDRESS:
RICHARD MANION ARCHITECTURE, INC.
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PROJECT NAME AND ADDRESS:
HARBOR VILLA
RESIDENCE REMODEL
800 PLYMOUTH BLVD
HARBOR VILLA, CA 90231

DATE: 07/01/2018

PROJECT NAME

EXTERIOR ELEVATIONS
HEIGHT ENVELOPE

ORIGINAL DATA
PROJECT NO. 1110
ISSUE DATE: 07/01/2018
PROJECT PHASE: DESIGN OF NEW CONCEPT
SCALE: 1/4" = 1'-0"

PROJECT NUMBER

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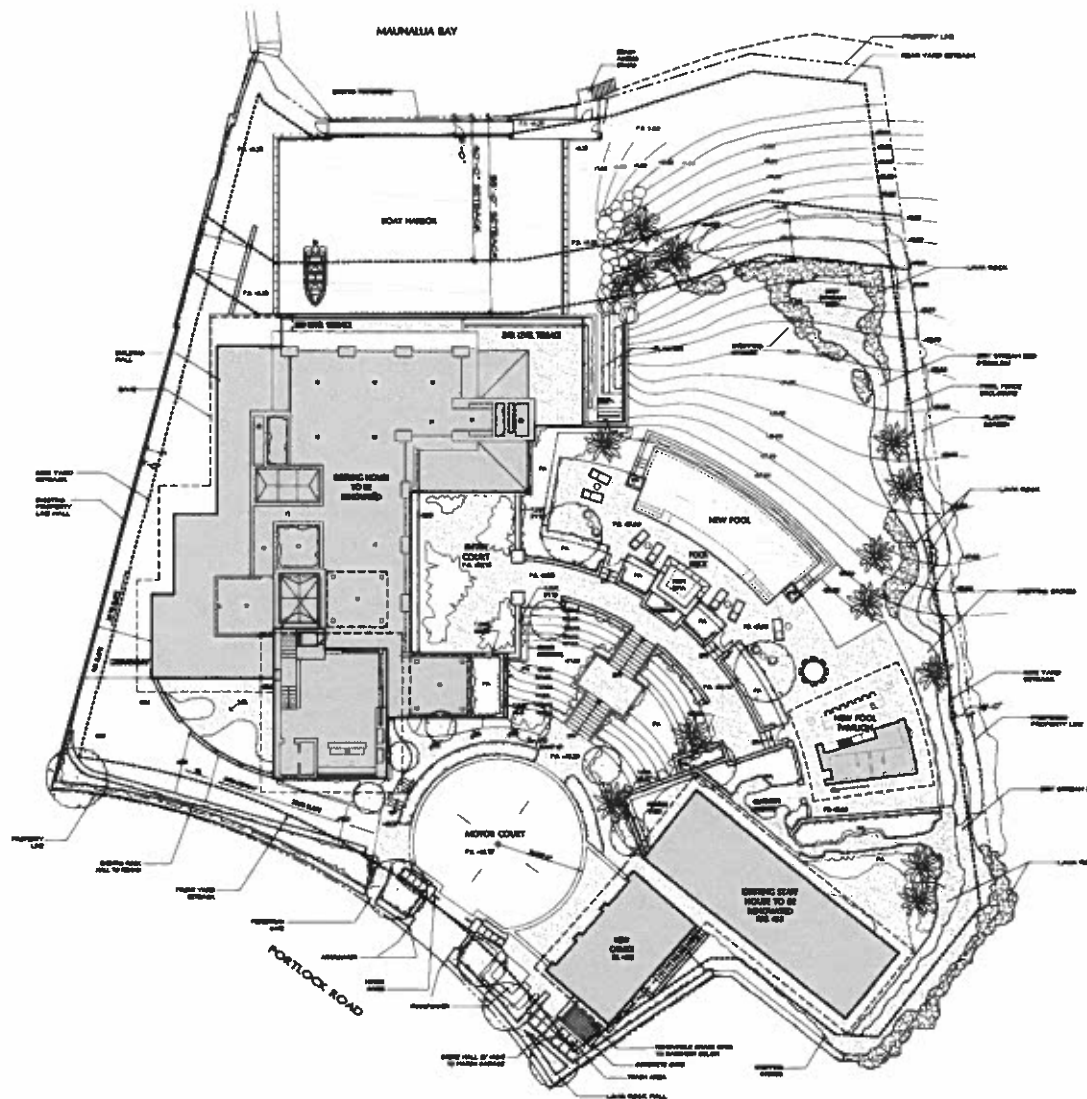


EXHIBIT B-5
FILE NO. 2018/SMA-58



SITE PLAN

EXISTING ARCHITECT OF RECORD



RICHARD MANION
ARCHITECTURE INC.

DESIGN ARCHITECT:
RICHARD MANION ARCHITECTURE, INC.
1000 WEST CLAYTON BLVD., SUITE 200
LOS ANGELES, CALIFORNIA 90024
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FAX (213) 688-1005

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PROJECT TITLE AND ADDRESS:
HARBOR VILLA
RESIDENCE REMODEL
887 PORT LOCK ROAD
MOLOKAU, HI 96768

PERMITS:

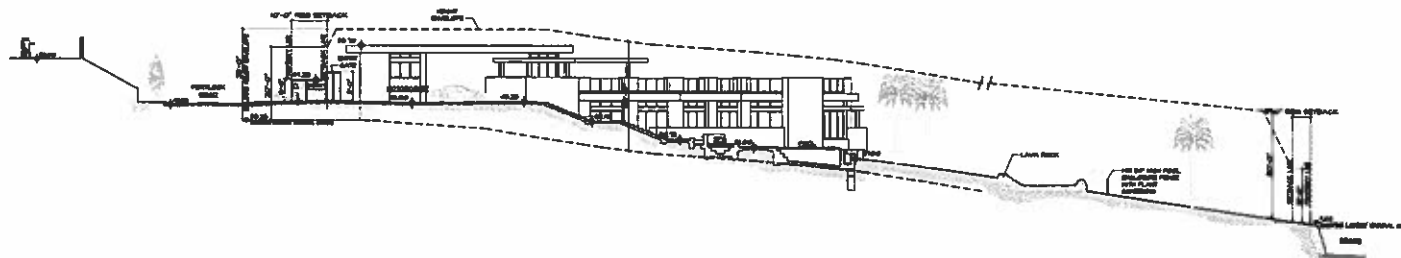
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SITE PLAN

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SHEET NO. 17 OF 20
PROJECT PHASE: DESIGN DEVELOPMENT
SHEET FOR: DESIGN DEVELOPMENT

SHEET NUMBER:

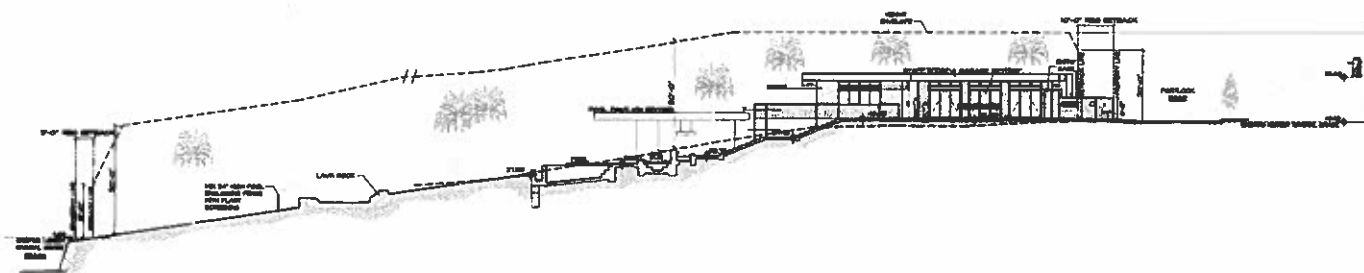
A-200



SITE SECTION LOOKING TOWARD HARBOR VILLA

SCALE
1/8"=1'-0"

2



SITE SECTION LOOKING TOWARD ACCESSORY BUILDINGS

SCALE
1/8"=1'-0"

1

EXHIBIT B-6
FILE NO. 2018/SMA-58

RESIDENTIAL ARCHITECT OF RECORD



RICHARD MANION
ARCHITECTURE, INC.

DESIGN ARCHITECT
RICHARD MANION ARCHITECTURE, INC.
1700 WEST OLIVINE BLVD., SUITE 600
LOS ANGELES, CALIFORNIA 90064
PH (310) 850-6000
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PROJECT TITLE AND ADDRESS

HARBOR VILLA
RESIDENCE REMODEL

167 PORTLAND ROAD
HERNDON, VA 22060

REVISIONS

SHEET NAME

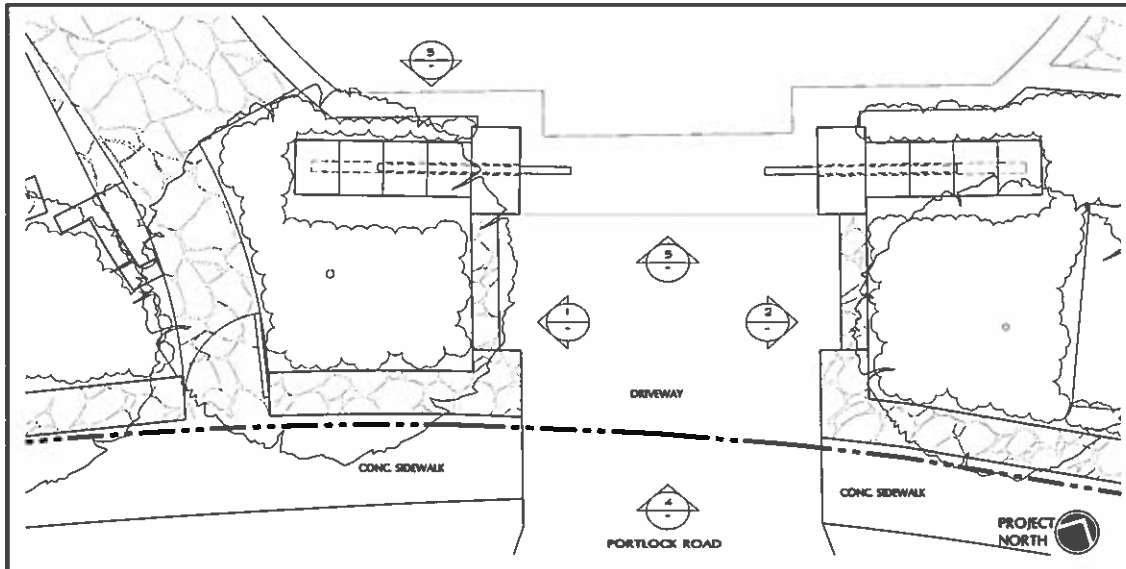
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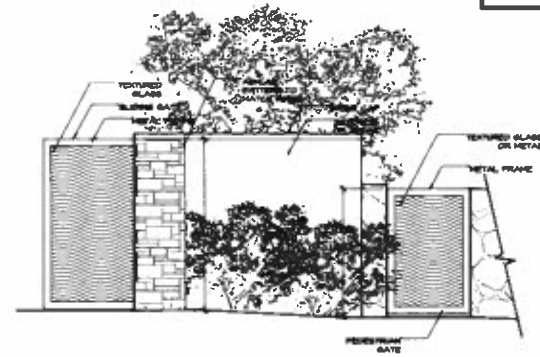
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SHEET DATE: 08/11/2018
PROJECT PHASE: DESIGN DEVELOPMENT
SHEET FOR: DESIGN DEVELOPMENT

SHEET NUMBER

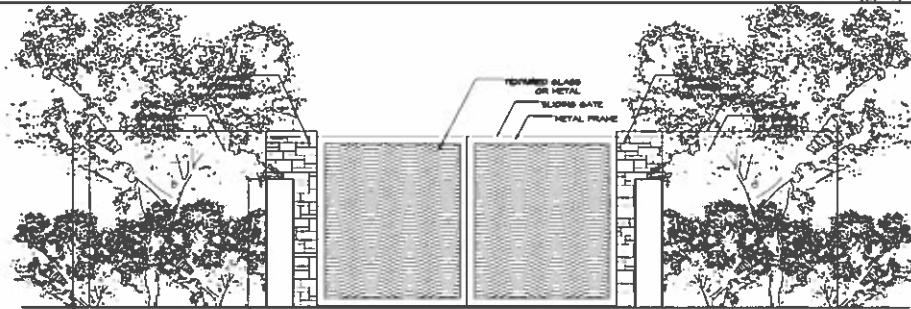
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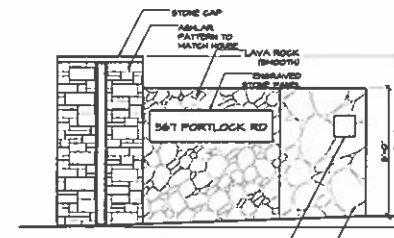
ENTRY GATE - PLAN VIEW SCALE 1/8" = 1'-0" 6



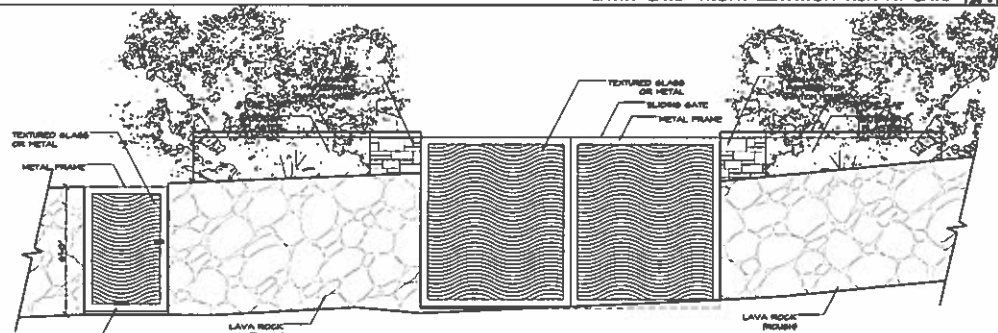
ENTRY GATE - PARTIAL INSIDE VIEW SCALE 3/4" = 1'-0" 3



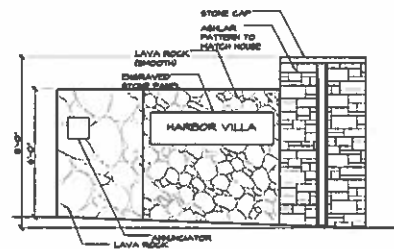
ENTRY GATE - FRONT ELEVATION VIEW AT GATE SCALE 3/4" = 1'-0" 5



ENTRY GATE - SIDE VIEW SCALE 3/4" = 1'-0" 2



ENTRY GATE - FRONT ELEVATION VIEW FROM STREET SCALE 3/4" = 1'-0" 4



ENTRY GATE - SIDE VIEW SCALE 3/4" = 1'-0" 1



RICHARD MANION
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PROJECT CITY AND ADDRESS

HARBOR VILLA
RESIDENCE RE-MODEL

1000 NORTH OCEAN BOULEVARD

HERMOSA BEACH, CA 90743

REVISIONS

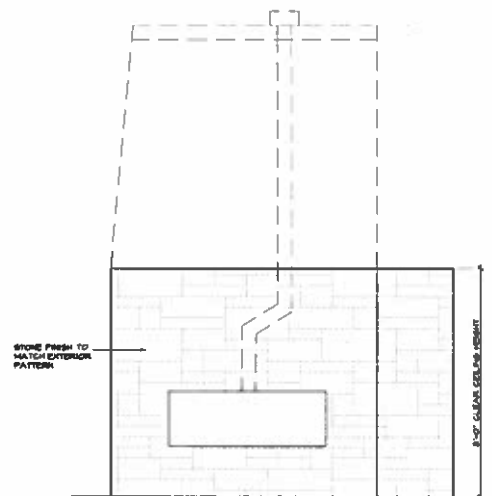
EXHIBIT B-7
FILE NO. 2018/SMA-58

SHEET NAME
SITE DETAILS

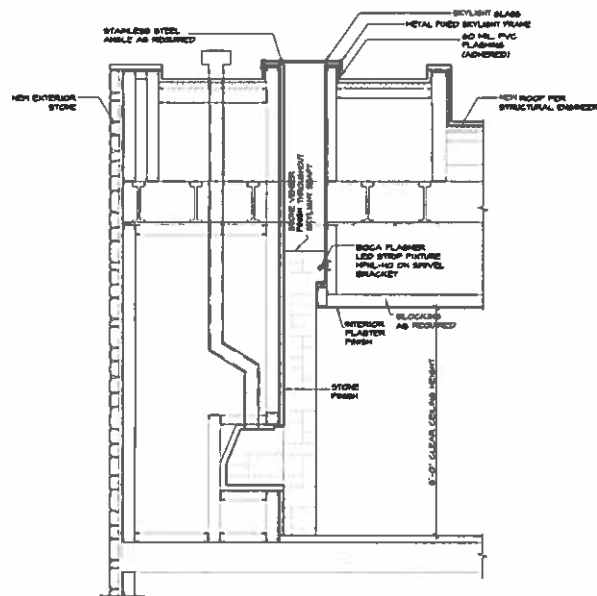
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PROJECT NO. 1100
SHEET DATE: 07-01-2018
PROJECT NAME: OCEAN DRIVE CONCEPT
SHEET FOR: OCEAN DRIVE CONCEPT

SHEET NUMBER

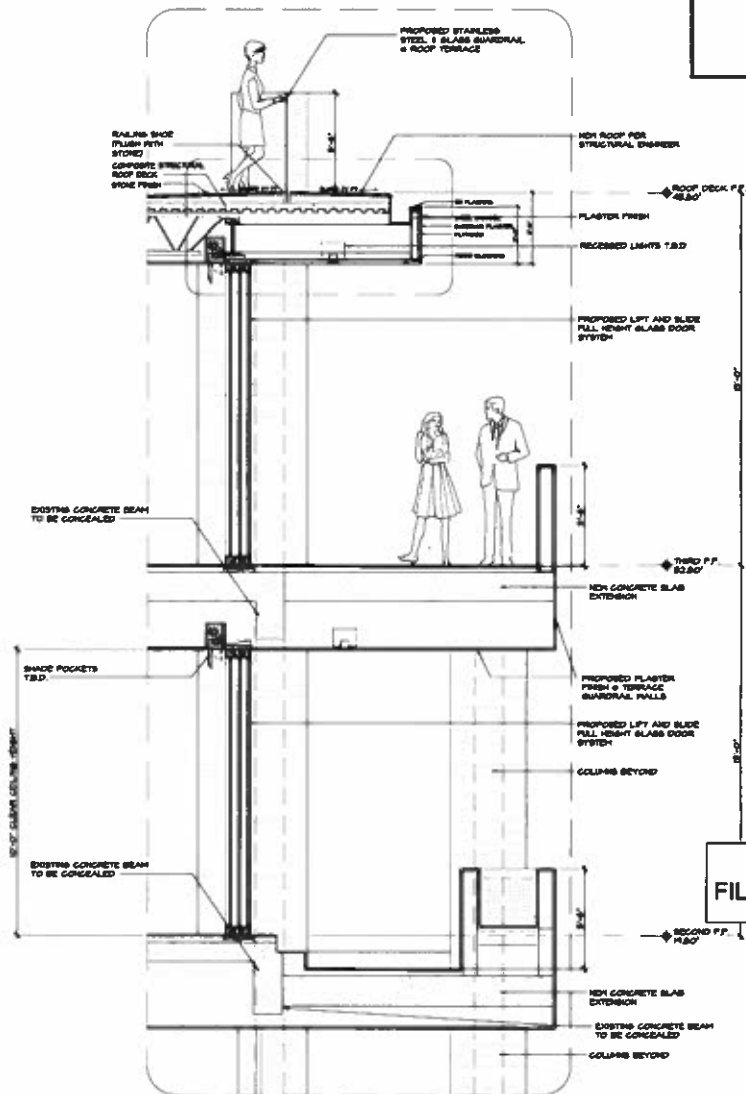
A-203



FRONT ELEVATION SCALE 1/8"=1'-0" 3



WALL SECTION SCALE 1/8"=1'-0" 2



WALL SECTION SCALE 1/8"=1'-0" 1

RESIDENT ARCHITECT OF RECORD



RICHARD MANION ARCHITECTURE INC.

OWNER AND/OR ARCHITECT:
RICHARD MANION ARCHITECTURE, INC.
1000 WEST OLYMPIA BLVD., SUITE 500
LOS ANGELES, CALIFORNIA 90004
PH (310) 555-8888
FAX (310) 555-8888

THESE CONCEPTS, DESIGN CONCEPTS, AND IDEAS ARE THE PROPERTY OF RICHARD MANION ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONSTRUCTION OF THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY SPECIFIED ON EACH DRAWING.

PROJECT TITLE AND NUMBER

HARBOR VILLA
RESIDENCE RE-MODEL

167 PONTI OAK ROAD
HERNDON, VA 22065

11/19/2018

EXHIBIT B-9
FILE NO. 2018/SMA-58

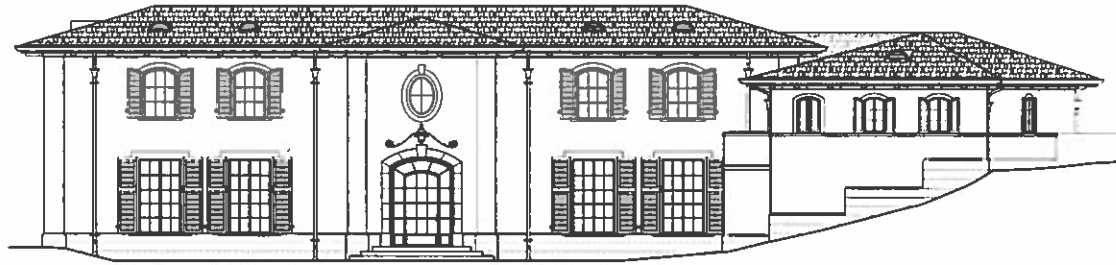
SHEET NAME

WALL SECTIONS

OWNERS DATA
PROJECT NO. 1119
SHEET DATE: 07-01-2019
PROJECT PHASE: DESIGN DEVELOPMENT
SHEET FOR: DESIGN DEVELOPMENT

SHEET NUMBER

A-412



BAY VILLA CONSULTANT DESIGN DEVELOPMENT PACKAGE 2 PORTLOCK ROAD HONOLULU, HAWAII 96825



RICHARD MANION
ARCHITECTURE, INC.

THIS ARCHITECTURE, DESIGN CONCEPTS, AND
DRAWINGS ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE AND SHALL NOT BE
USED FOR ANY PURPOSE OTHER THAN THE
CONSTRUCTION OF THE PROJECT. PROJECT
SCHEDULE, BUDGET, AND QUALITY ARE NOT
WARRANTED. RICHARD MANION ARCHITECTURE
MAKES NO WARRANTY OF ANY KIND.

DESIGN ARCHITECT
RICHARD MANION ARCHITECTURE, INC.

THIS SHEET CONTAINS ELEVATIONS, SECTIONS
AND DETAILS. CONSULTANT DESIGN DEVELOPMENT
PACKAGE 2. SEE SHEET 00-00-0000
FOR SHEET INDEX.

20	10	12	8	4
14	16	11	7	9
18	14	10	6	3
15	13	9	5	1

ALL DRAWINGS AND DETAILS ARE IDENTIFIED BY THE SHEET
NUMBER IN THE LOWER RIGHT HAND CORNER. ALL NUMBER
LOCATIONS CORRESPOND TO THIS GRID SYSTEM.

NOTE
GENERAL NOTES & SPECIFICATIONS ARE LOCATED IN
SEPARATE DOCUMENT.

PROJECT ADDRESS	100 PORTLOCK ROAD HONOLULU, HAWAII 96825
THE MAP SHEET NO.	20-00-00
LOT AREA	100,000 SQ. FT. (2.2 ACRES)
LOT ZONING	U-1
OCCUPANCY	RES
CONSTRUCTION	TYPE 1A
SECOND FLOOR AREA	10,000 SQ. FT.
THIRD FLOOR AREA	10,000 SQ. FT.
FOURTH FLOOR AREA	10,000 SQ. FT.
FIFTH FLOOR AREA	10,000 SQ. FT.
SIXTH FLOOR AREA	10,000 SQ. FT.
SEVENTH FLOOR AREA	10,000 SQ. FT.
EIGHTH FLOOR AREA	10,000 SQ. FT.
NINTH FLOOR AREA	10,000 SQ. FT.
TENTH FLOOR AREA	10,000 SQ. FT.
ELEVENTH FLOOR AREA	10,000 SQ. FT.
TWELFTH FLOOR AREA	10,000 SQ. FT.
THIRTEENTH FLOOR AREA	10,000 SQ. FT.
FOURTEENTH FLOOR AREA	10,000 SQ. FT.
FIFTEENTH FLOOR AREA	10,000 SQ. FT.
SIXTEENTH FLOOR AREA	10,000 SQ. FT.
SEVENTEENTH FLOOR AREA	10,000 SQ. FT.
EIGHTEENTH FLOOR AREA	10,000 SQ. FT.
NINETEENTH FLOOR AREA	10,000 SQ. FT.
TWENTIETH FLOOR AREA	10,000 SQ. FT.

DESIGN ARCHITECT	RICHARD MANION ARCHITECTURE, INC. 100 PORTLOCK ROAD HONOLULU, HAWAII 96825 PH: 551-1234 FAX: 551-1235 WWW.RMARCHITECT.COM
DESIGN ARCHITECT	RICHARD MANION ARCHITECTURE, INC. 100 PORTLOCK ROAD HONOLULU, HAWAII 96825 PH: 551-1234 FAX: 551-1235 WWW.RMARCHITECT.COM
DESIGN ARCHITECT	RICHARD MANION ARCHITECTURE, INC. 100 PORTLOCK ROAD HONOLULU, HAWAII 96825 PH: 551-1234 FAX: 551-1235 WWW.RMARCHITECT.COM
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DESIGN ARCHITECT	RICHARD MANION ARCHITECTURE, INC. 100 PORTLOCK ROAD HONOLULU, HAWAII 96825 PH: 551-1234 FAX: 551-1235 WWW.RMARCHITECT.COM
DESIGN ARCHITECT	RICHARD MANION ARCHITECTURE, INC. 100 PORTLOCK ROAD HONOLULU, HAWAII 96825 PH: 551-1234 FAX: 551-1235 WWW.RMARCHITECT.COM

ARCHITECTURAL	A100 COVER SHEET
ARCHITECTURAL	A101 OVERALL SITE PLAN
ARCHITECTURAL	A102 ENLARGED SITE PLAN
ARCHITECTURAL	A103 OVERALL BASEMENT FLOOR PLAN
ARCHITECTURAL	A104 BASEMENT REFLECTED CEILING PLAN
ARCHITECTURAL	A105 OVERALL 1 ST FLOOR PLAN
ARCHITECTURAL	A106 1 ST FLOOR DIMENSION PLAN SOUTH
ARCHITECTURAL	A107 1 ST FLOOR DIMENSION PLAN NORTH
ARCHITECTURAL	A108 1 ST FLOOR REFLECTED CEILING PLAN SOUTH
ARCHITECTURAL	A109 1 ST FLOOR REFLECTED CEILING PLAN NORTH
ARCHITECTURAL	A110 OVERALL 2 ND FLOOR PLAN
ARCHITECTURAL	A111 2 ND FLOOR DIMENSION PLAN SOUTH
ARCHITECTURAL	A112 2 ND FLOOR DIMENSION PLAN NORTH
ARCHITECTURAL	A113 2 ND FLOOR REFLECTED CEILING PLAN SOUTH
ARCHITECTURAL	A114 2 ND FLOOR REFLECTED CEILING PLAN NORTH
ARCHITECTURAL	A115 ROOF PLAN
ARCHITECTURAL	A116 BUILDING SECTIONS
ARCHITECTURAL	A117 BUILDING SECTIONS
ARCHITECTURAL	A118 BUILDING SECTIONS
ARCHITECTURAL	A119 EXTERIOR ELEVATIONS
ARCHITECTURAL	A120 EXTERIOR ELEVATIONS
ARCHITECTURAL	A121 EXTERIOR ELEVATIONS
ARCHITECTURAL	A122 EXTERIOR ELEVATIONS
ARCHITECTURAL	A123 EXTERIOR ELEVATIONS
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ARCHITECTURAL	A142 EXTERIOR ELEVATIONS
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ARCHITECTURAL	A147 EXTERIOR ELEVATIONS
ARCHITECTURAL	A148 EXTERIOR ELEVATIONS
ARCHITECTURAL	A149 EXTERIOR ELEVATIONS
ARCHITECTURAL	A150 EXTERIOR ELEVATIONS

EXHIBIT B-10
FILE NO. 2018/SMA-58

REVISION DATA

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

SHEET NAME AND NUMBER AS NOTED

COVER SHEET

CLIENT DATA

PROJECT NO. 100

DATE DATE 09-04-2018

SHEET NUMBER

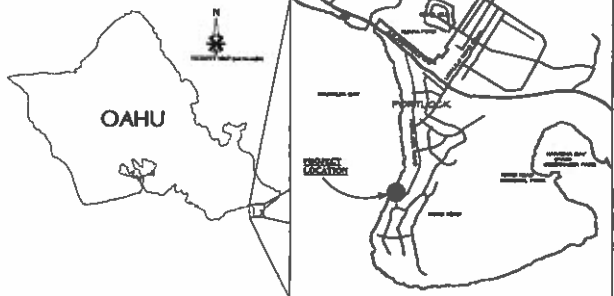
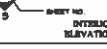
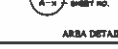
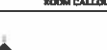
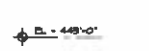
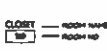
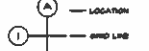
A100

SHEET GRID SYSTEM

PROJECT DATA

PROJECT DIRECTORY

SHEET INDEX



VICINITY MAP



JOHN MASON ARCHITECTURE, INC.

PROJECT WINE AND AXMINSTER
SAY VILLA RESIDENCE
THE PORTLOCK ROAD
MIDNTHORPE, LEEDS LS29 5LQ

THE GENERAL CONTRACTOR SHALL SUBMIT SAMPLES OF WINDOW, DOOR, INSULATING GLASS, AND FLOORING TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ANY WINDOW, DOOR, INSULATING GLASS, AND FLOORING ACCEPTED WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE SUBJECT TO THE REJECTION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

[illegible]

EXHIBIT B-11
FILE NO. 2018/SMA-58

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

EMERY CLARK AND TERRY DE MEYER

AS NOTED

OVERALL SITE PLAN

CO-AMPHIOL D-424

PROJECT NO: 700
DATE: 12-10-2000

THEY SAID:

A201

NOTE:
SEE SHEET A303 FOR
LARGER SCALE PARTIAL SITE
PLAN.

OVERALL SITE PLAN	204	1
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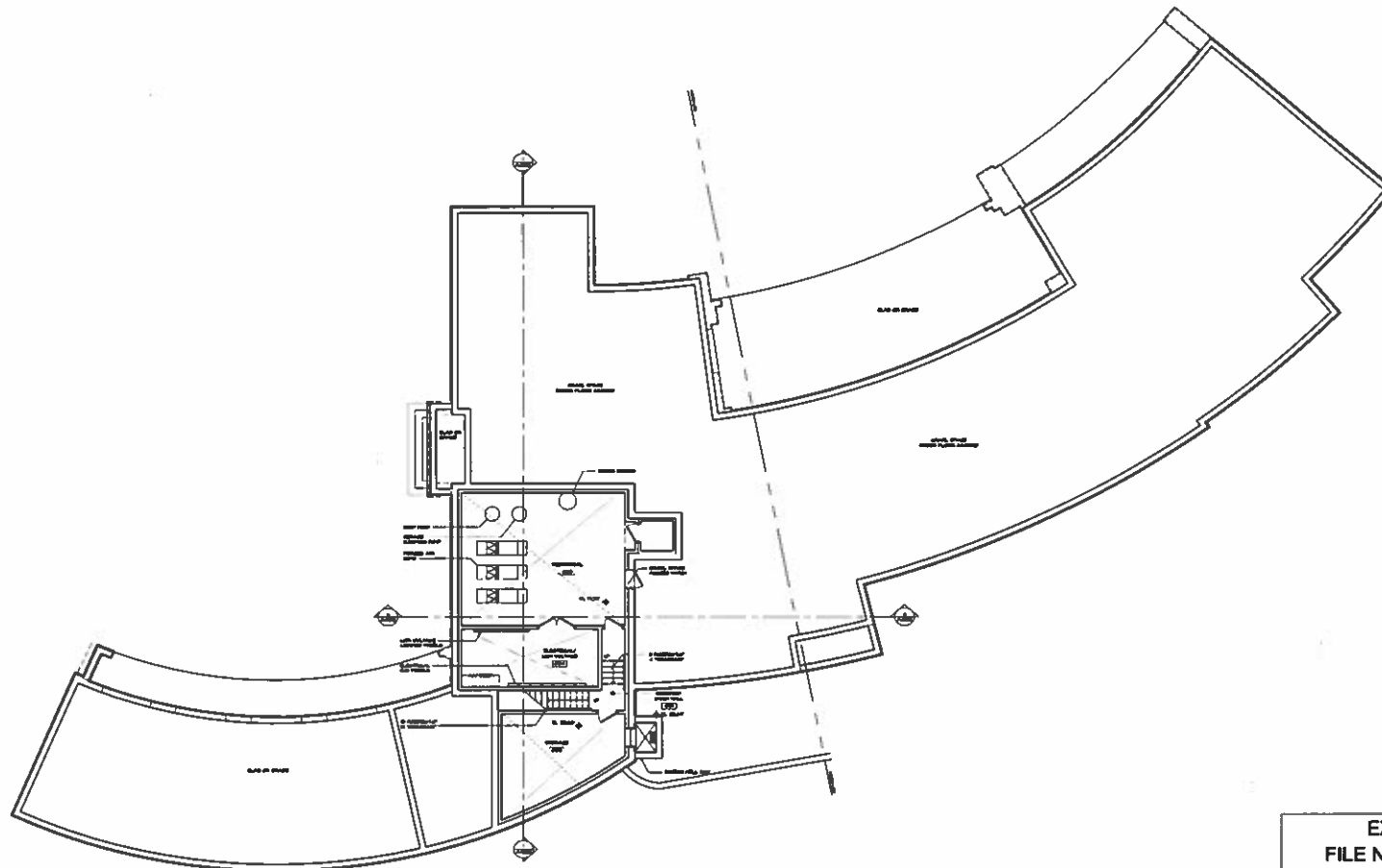


EXHIBIT B-12
FILE NO. 2018/SMA-58



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ARCHITECTURE INC.

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SPECIFICATIONS ARE THE PROPERTY OF RICHARD
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USED FOR ANY PURPOSE OTHER THAN THE
CONSTRUCTION OF THE PROJECT SPECIFICALLY
DESCRIBED HEREIN AND SHALL NOT BE LOANED,
REPRODUCED, COPIED, OR OTHERWISE
DISSEMINATED WITHOUT THE WRITTEN
APPROVAL OF RICHARD MANION ARCHITECTURE.

DESIGN ARCHITECT

RICHARD MANION ARCHITECTURE, INC.

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SPECIFICATIONS ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE AND SHALL NOT BE
USED FOR ANY PURPOSE OTHER THAN THE
CONSTRUCTION OF THE PROJECT SPECIFICALLY
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REPRODUCED, COPIED, OR OTHERWISE
DISSEMINATED WITHOUT THE WRITTEN
APPROVAL OF RICHARD MANION ARCHITECTURE.

PROJECT NAME AND ADDRESS

BAY VILLA RESIDENCE
100 PINEHURST ROAD
HOLLYWOOD, CALIFORNIA 91601

NOTES

THE GENERAL CONTRACTOR MUST SUBMIT
COPIES OF ALL MATERIALS, SPECIFICATIONS,
CONTRACTS, AND AGREEMENTS TO THE OWNER
AND ARCHITECT FOR APPROVAL PRIOR TO
INSTALLATION AND BEFORE ANY
CONSTRUCTION, ERECTION, AND
REPAIRS WITHOUT THE WRITTEN
APPROVAL OF THE OWNER AND ARCHITECT.
ANY VIOLATION OF THE AGREEMENT
OF THE OWNER AND ARCHITECT SHALL
BE SUBJECT TO ENFORCEMENT AT THE
DISCRETION OF THE GENERAL CONTRACTOR.

REVISION DATE

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

DATE: 01/11/2018 AND 01/11/2018 AS NOTED

OVERALL BASEMENT
FLOOR PLAN

DRAWING DATE:

PROJECT NO. 101

DATE: 01/11/2018

DATE: 01/11/2018





RICHARD MANION
ARCHITECTURE, INC.

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SPECIFIC ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE AND SHALL NOT BE
USED FOR ANY PURPOSE OTHER THAN THE
CONSTRUCTION OF THE SPECIFIC PROJECT
INDICATED HEREIN, AND SHALL NOT BE LOANED,
REPRODUCED, COPIED, OR IN ANY MANNER
OTHERWISE DISCLOSED OR USED
FOR ANY OTHER PROJECT.

DESIGN ARCHITECT:
RICHARD MANION ARCHITECTURE, INC.

THIS DRAWING, DESIGN CONCEPT, AND
SPECIFIC ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE AND SHALL NOT BE
USED FOR ANY PURPOSE OTHER THAN THE
CONSTRUCTION OF THE SPECIFIC PROJECT
INDICATED HEREIN, AND SHALL NOT BE LOANED,
REPRODUCED, COPIED, OR IN ANY MANNER
OTHERWISE DISCLOSED OR USED
FOR ANY OTHER PROJECT.

PROJECT NAME AND ADDRESS:
BAY VILLA RESIDENCE
881 PORTLAND ROAD
MEMPHIS, TENNESSEE 38117

NOTES:
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS, ORDINANCES,
CONNECTIONS, AND RECORDS TO THE OWNER
AND ASSURED FOR ALL OTHERS PRIOR TO
CONSTRUCTION. ANY VIOLATIONS, CODES,
ORDINANCES, CONNECTIONS, OR RECORDS
VIOLATED WITHOUT THE WRITTEN
APPROVAL OF THE OWNER AND ARCHITECT
SHALL BE DEEMED AS THE DECISION
OF THE OWNER AND ARCHITECT AND
SUBJECT TO REPLACEMENT AT THE
OWNER'S EXPENSE.

REVISIONS:

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

PROJECT NAME AND SCALE: AS NOTED

OVERALL FIRST
FLOOR PLAN

DESIGNED BY:
PROJECT NO. 101
DATE: 08-04-08

DRAWN BY:

A310

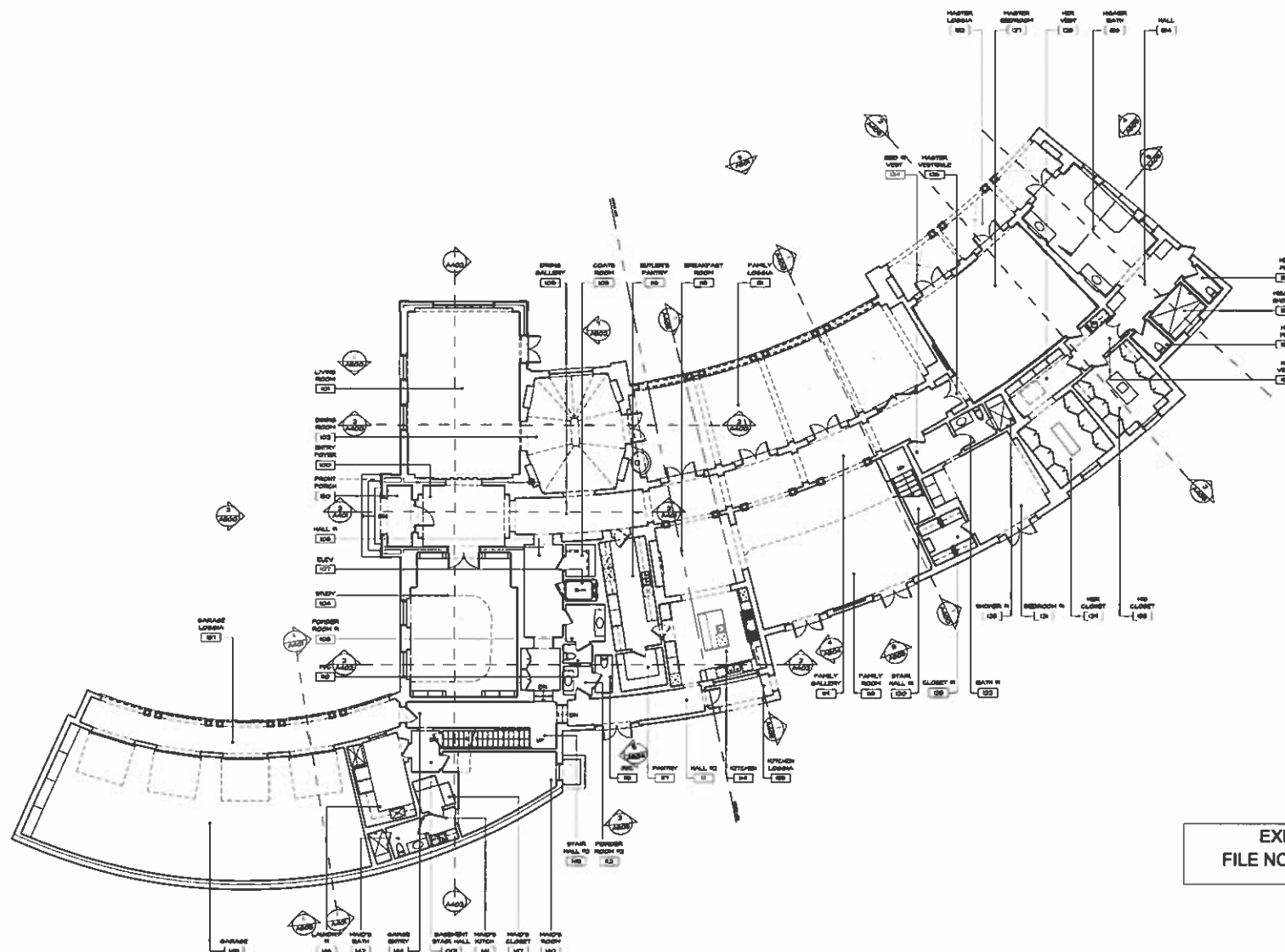
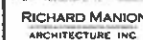


EXHIBIT B-13
FILE NO. 2018/SMA-58





THESE CONCEPTS, DESIGN CONCEPTS, AND IDEAS ARE THE PROPERTY OF BROWN JOHNSON ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE COMPLETION OF THE SPECIFIC PROJECT DESCRIBED HEREIN, AND SHALL NOT BE USED UNLESS EXPLICITLY INDICATED ON EACH DRAWING.

DEAN MASON ARCHITECTS, PC

1996 WEST COASTIC CUP, RACE 600
5-20 JUNE, CARPENTERS 1996
2-21 JUNE 1996

PROJECT TYPE AND ADDRESS

BAY VILLA RESIDENCE
THE FORTLICK HOUSE
WINDHAM, NEW HAMPSHIRE

—OFFER—

THE GENERAL CONTRACTOR MUST SUBMIT SAMPLES OF WINDOWS, DOORS, HINGED CHAIRS, AND ROOMS TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ANY WINDOWS, DOORS, HINGED CHAIRS, AND ROOMS HANGING WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE SUBJECT TO THE DISCRETION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

Abstract

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

PRINT NAME AND SIGN AS NOTED

OVERALL SECOND
FLOOR PLAN

RELEASE DATE
 PAGE NO. 100
 STATE CODE 22-0000

THOMAS DELANEY:

A320

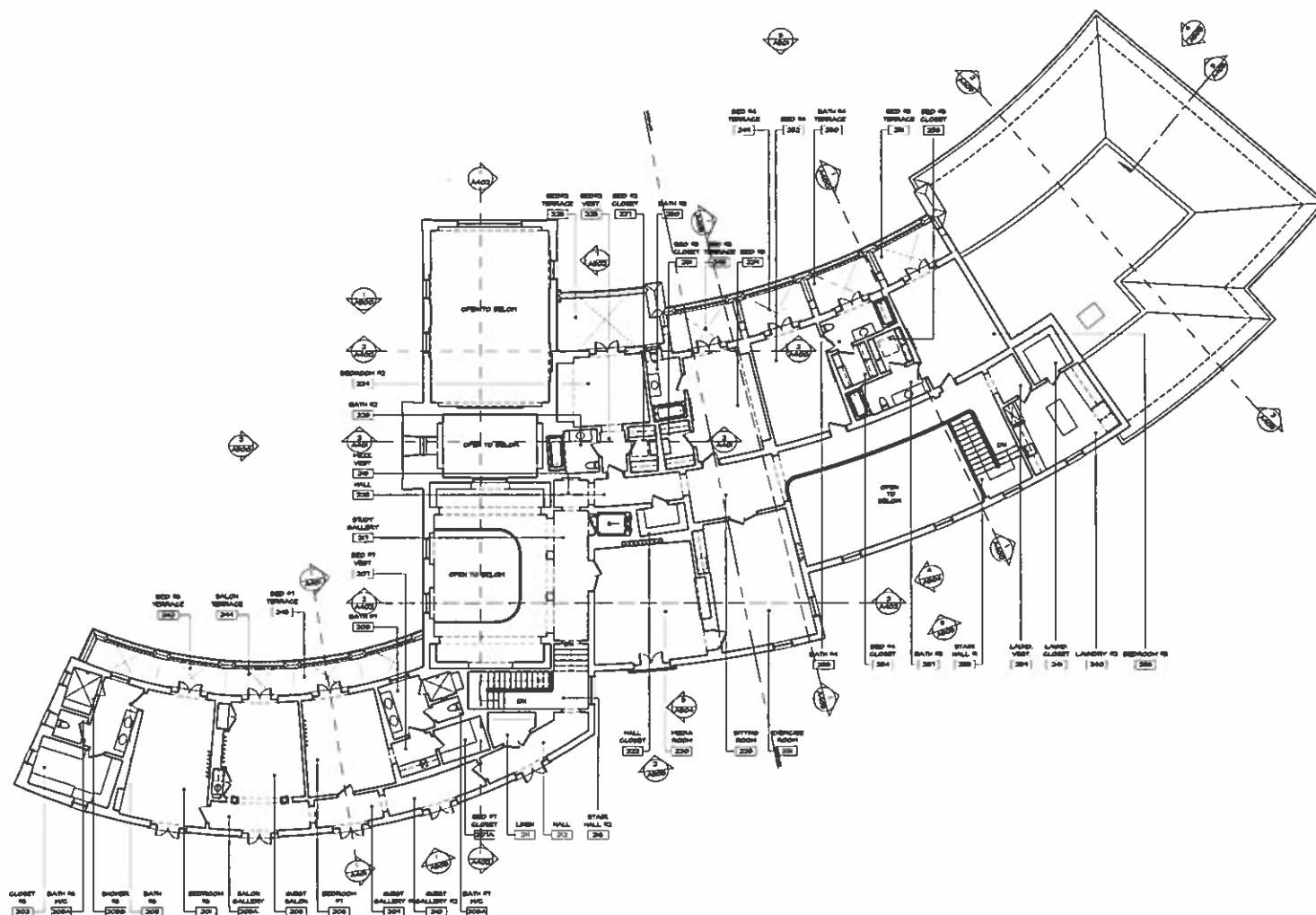


EXHIBIT B-14
FILE NO. 2018/SMA-58

OVERALL SECOND FLOOR PLAN

**UNITED STATES**

RICHARD MANN ARCHITECTURE, INC.

THE WEST COASTIC, 1700, BARK AND
LOS ANGELES, CALIFORNIA 90044
701 522-4700 • 2000
FAX 701 522-4700 • 2000

PROJECT TITLE AND ADDRESS

RAY VILLA RESIDENCE
884 PORTLOCK ROAD
METROVILLA HOMES GOLF

142/143

THE GENERAL CONTRACTOR MUST FIRST
SUBMIT TO THE BOARD, DESIGN PROFESSIONAL,
CITY, AND COUNTY THE CHANGES AND
ARCHITECT FOR APPROVAL PRIOR TO
INSTALLATION ANY WINDOW, DOOR,
HATCHES, CHIMNEY, AND ROOFING
MATERIALS WITHOUT THE WRITTEN
APPROVAL OF THE OWNER AND ARCHITECT
MAY BE ISSUED AT THE DISCRETION OF
THE OWNER AND ARCHITECT AND
SUBJECT TO REPLACEMENT AT THE
RISK OF THE GENERAL CONTRACTOR.

RESEARCH DESIGN

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

DATE SENT AND TIME AS NOTED

ROOF PLAN

BALANCE SHEET

PROJECT NO. 100
DATE: 04-10-2004

SPOT HIGHLIGHT

A330



LEADER

- ☐ 1/2" ROUNDO CORNER VENT - 1.0 SF
- ☐ 1/2" ROUNDO VENT - 1.0 SF
- ☐ 1/2" ROUNDO VENT - 2.0 SF
- ☐ 1/2" ROUNDO VENT - 1.0 SF
- ☐ 1/2" ROUNDO VENT - 1.0 SF

ATTN: VENTILATION AT FIRST STORY - 100% FREE

2.0 SF / 100 = 17.4 SF VENTING REQUIRED

17.4 SF / 1.0 HALF-ROUND VENT = 1.0 SF PROVIDED

1.0 SF / 1.0 HALF-ROUND VENT = 1.0 SF PROVIDED

0.1 = 17.4 SF TOTAL PROVIDED AT FIRST FLOOR

ATTN: VENTILATION AT SECOND STORY - 100% FREE

0.1 SF / 100 = 0.1 SF VENTING REQUIRED

0.1 SF / 1.0 HALF-ROUND VENT = 0.1 SF PROVIDED

0.1 SF / 1.0 HALF-ROUND VENT = 0.1 SF PROVIDED

0.1 SF / 1.0 HALF-ROUND VENT = 0.1 SF PROVIDED

0.1 = 0.1 SF TOTAL PROVIDED AT SECOND STORY

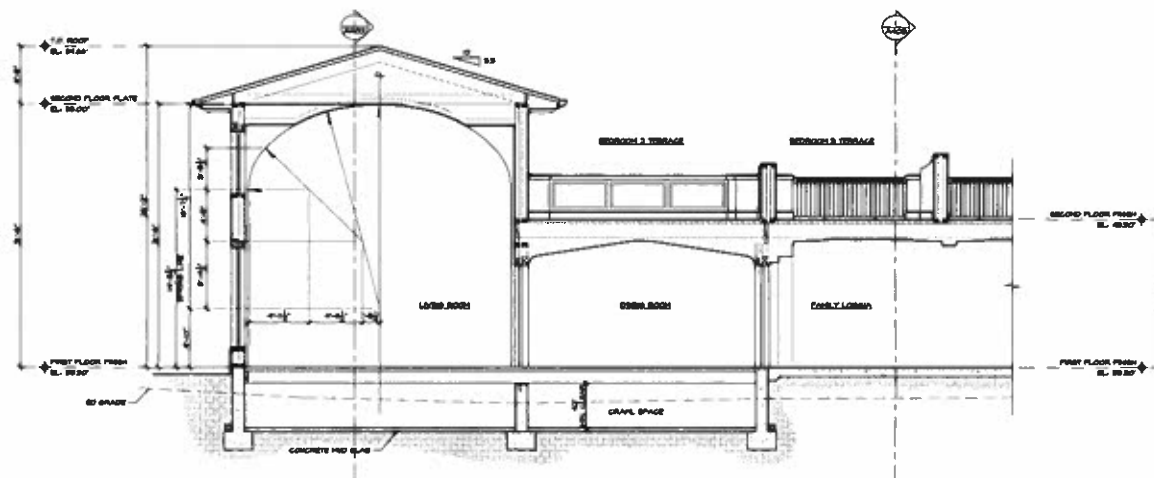
ATTN: VENTILATION AT ROOF FLOOR

2.0 SF / 100 = 1.0 SF VENTING REQUIRED

1.0 SF / 1.0 HALF-ROUND VENT = 1.0 SF PROVIDED

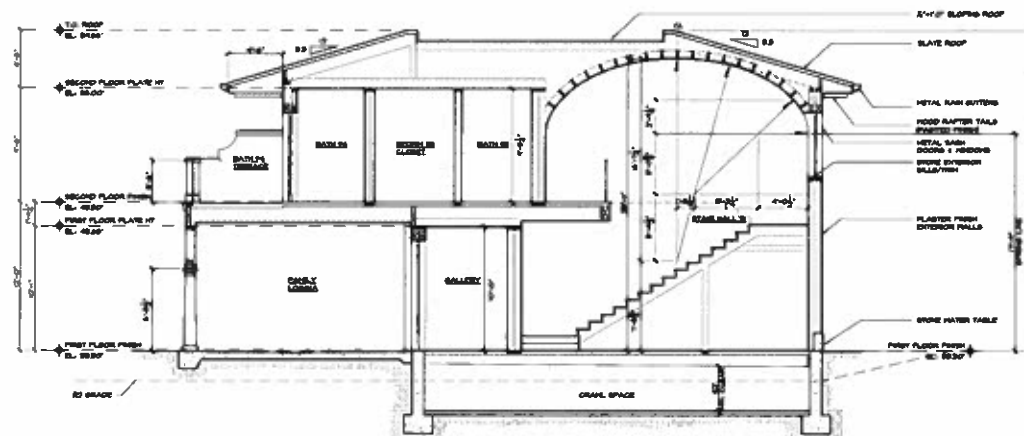
1.0 SF / 1.0 HALF-ROUND VENT = 1.0 SF PROVIDED

1.0 = 1.0 SF TOTAL PROVIDED AT ROOF FLOOR



BUILDING SECTIONS 2

EXHIBIT B-16
FILE NO. 2018/SMA-58



BUILDING SECTIONS 1



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ARCHITECTURE, INC.

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IMAGE ARE THE PROPERTY OF RICHARD
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USED FOR ANY PURPOSE OTHER THAN THE
COMPLETION OF THE PROJECT. PROJECT
SCHEDULE, DESIGN, AND DRAWING SET IS
UNDER PROGRESS. PROJECTS OF RICHARD
MANION ARCHITECTURE, INC.

DESIGN ARCHITECT

RICHARD MANION ARCHITECTURE, INC.

1000 WEST CLAYTON AVENUE, SUITE 400
LOS ANGELES, CALIFORNIA 90006
TEL: 310.551.1000
WWW.RMARCH.COM

PROJECT INFO AND ADDRESS

BAY VILLA RESIDENCE
1000 WEST CLAYTON AVENUE
LOS ANGELES, CALIFORNIA 90006

NOTES

THE GENERAL CONTRACTOR SHALL BE
RESPONSIBLE FOR THE DESIGN, CONSTRUCTION,
COMPLETION, AND MAINTENANCE OF THE DESIGN
AND ARCHITECTURE FOR APPROVAL. THE
GENERAL CONTRACTOR SHALL BE RESPONSIBLE
FOR THE DESIGN, CONSTRUCTION, AND
COMPLETION OF THE DESIGN AND ARCHITECTURE
FOR APPROVAL. THE GENERAL CONTRACTOR
SHALL BE RESPONSIBLE FOR THE DESIGN,
CONSTRUCTION, AND COMPLETION OF THE
DESIGN AND ARCHITECTURE FOR APPROVAL.

DESIGN DATE

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

SHEET NAME AND SCALE: AS SHOWN

BUILDING SECTIONS

DRAWING DATA

PROJECT NO. 100

DATE: 06/06/2018

SHEET NUMBER

A400



**RICHARD MANION
ARCHITECTURE, INC.**

THIS DRAWING, DESIGN CONCEPT, AND
HEREIN ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE, INC. AND SHALL NOT BE
USED FOR ANY PURPOSE OTHER THAN THE
COMPLETION OF THE SPECIFIC PROJECT
DESCRIBED HEREIN, AND SHALL NOT BE USED
FOR ANY OTHER PROJECT WITHOUT THE
WRITTEN PERMISSION OF RICHARD MANION
ARCHITECTURE, INC.

DESIGN ARCHITECT:
RICHARD MANION ARCHITECTURE, INC.
1000 WEST CENTRAL AVENUE, SUITE 100
SAN ANTONIO, CALIFORNIA 78204
TEL: 214.512.1100 FAX: 214.512.1101
WWW.RMARCH.COM

PROJECT NAME AND ADDRESS:

BAY VILLA RESIDENCE
100 PORTLAND ROAD
HIGHLAND PARK, TEXAS 78003

NOTES:

THE OWNER ACKNOWLEDGES THAT ANY
REVISIONS OF THIS DRAWING, DESIGN, SPECIFICATIONS,
CONTRACT, AND ADDENDUM TO THE OWNER
AND ARCHITECT FOR ANY REVISIONS, SHALL BE
SUBMITTED TO THE ARCHITECT FOR REVIEW AND
APPROVAL. ANY REVISIONS, SPECIFICATIONS,
CONTRACT, AND ADDENDUM TO THE OWNER
AND ARCHITECT SHALL BE SUBMITTED TO THE
ARCHITECT FOR REVIEW AND APPROVAL. ANY
REVISIONS, SPECIFICATIONS, AND ADDENDUM
SHALL BE SUBMITTED TO THE ARCHITECT FOR
REVIEW AND APPROVAL. ANY REVISIONS,
SPECIFICATIONS, AND ADDENDUM SHALL BE
SUBMITTED TO THE ARCHITECT FOR REVIEW
AND APPROVAL. ANY REVISIONS, SPECIFICATIONS,
AND ADDENDUM SHALL BE SUBMITTED TO THE
ARCHITECT FOR REVIEW AND APPROVAL.

REVISION DATA:

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

SHEET NAME AND SCALE: AS NOTED

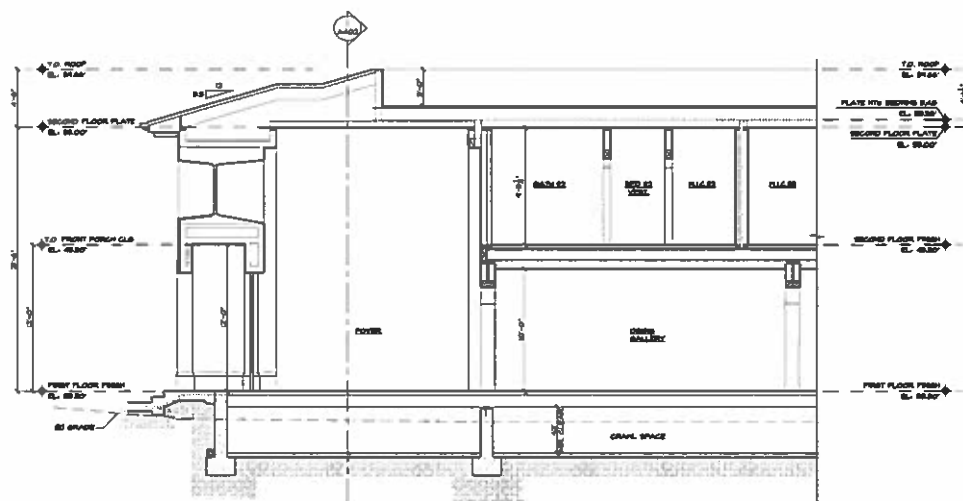
BUILDING SECTIONS

DRAWING DATA:

PROJECT NAME AND ADDRESS:
BAY VILLA RESIDENCE

SHEET NUMBER:

A401



BUILDING SECTIONS **Scale** **1/8" = 1'-0"** **2**

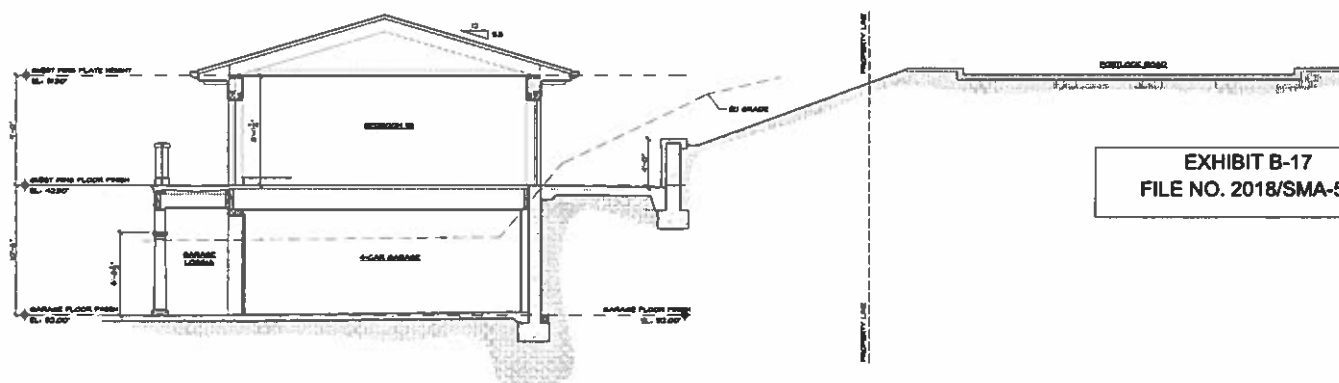


EXHIBIT B-17
FILE NO. 2018/SMA-58

BUILDING SECTIONS **Scale** **1/8" = 1'-0"** **1**



HOWARD HANSON ARCHITECTURE, INC.
3700 WEST KENNEDY BOULEVARD, SUITE 600
LOS ANGELES, CALIFORNIA 90008
PH (213) 836-0000
FAX (213) 836-0000

BAY VILLA RESIDENCE
ON PORTLOCK ROAD
15 MINUTES FROM TOWN

NOTE

THE ORIGINAL COMMISSIONERS MUST SIGN AFFIDAVIT OF VERIFICATION, BOOK, NUMBER, CATEGORY, AND ADDRESS TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO REISSUANCE. ANY VERIFICATION, BOOK, NUMBER, CATEGORY, AND ADDRESS ASSOCIATED WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE SUBJECT TO THE DISCRETION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE DISCRETION OF THE ORIGINAL COMMISSIONER.

RESEARCH DESIGN

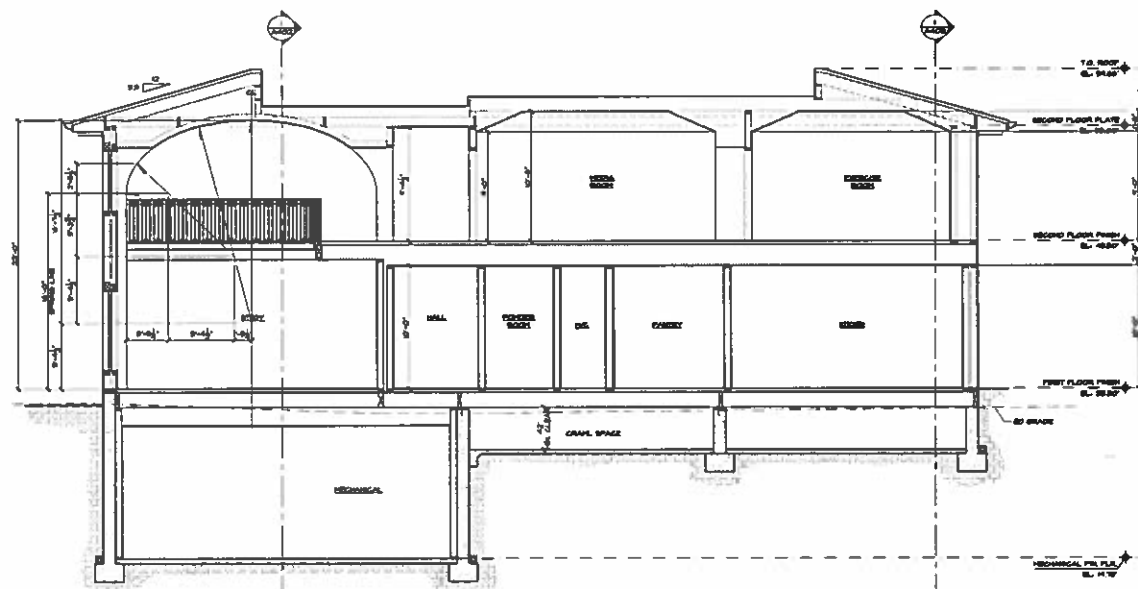
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

BUILDING SECTIONS

ISSUING AREA
PROJECT NO: 000
FILE DATE: 00-00-00

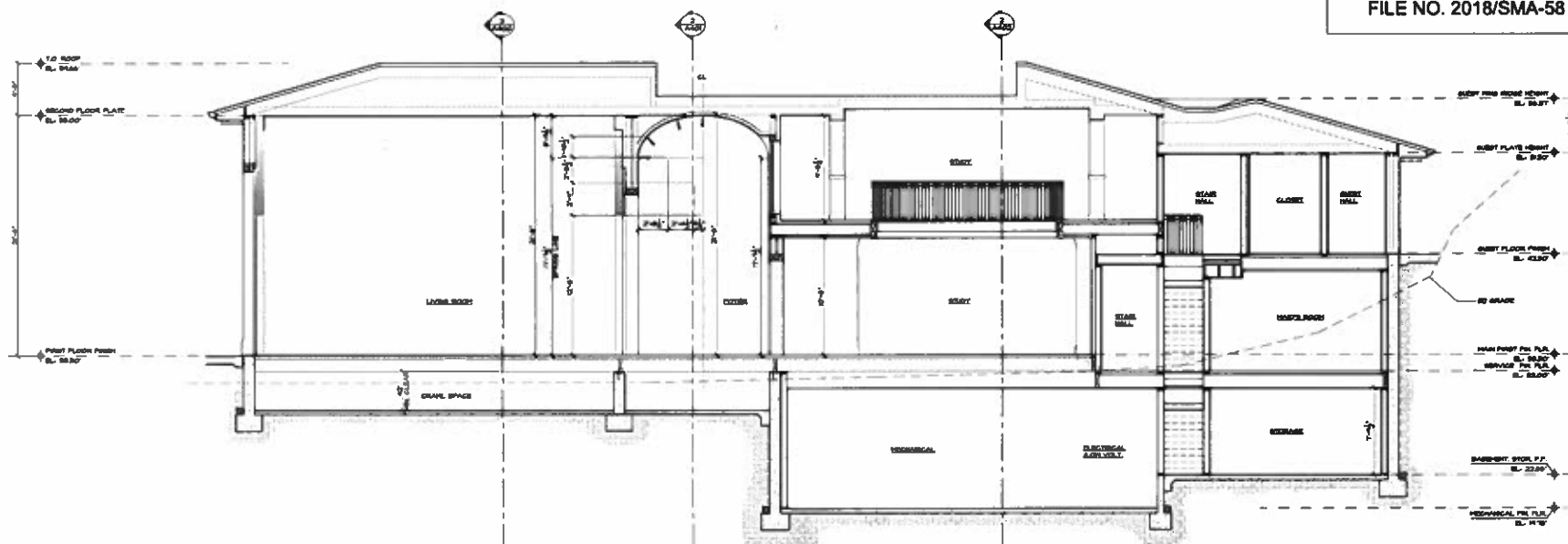
THREE PLANNING:

A402

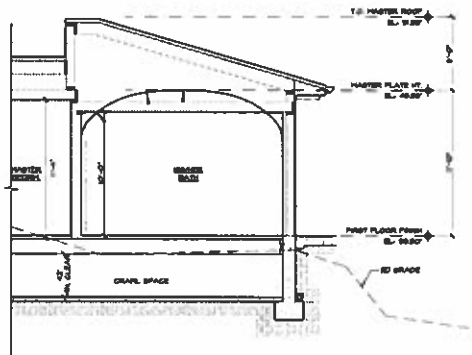


BUILDING SECTIONS

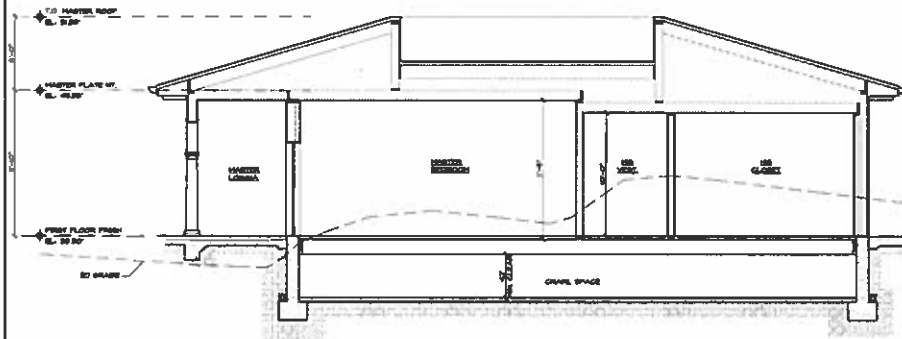
EXHIBIT B-18
FILE NO. 2018/SMA-58



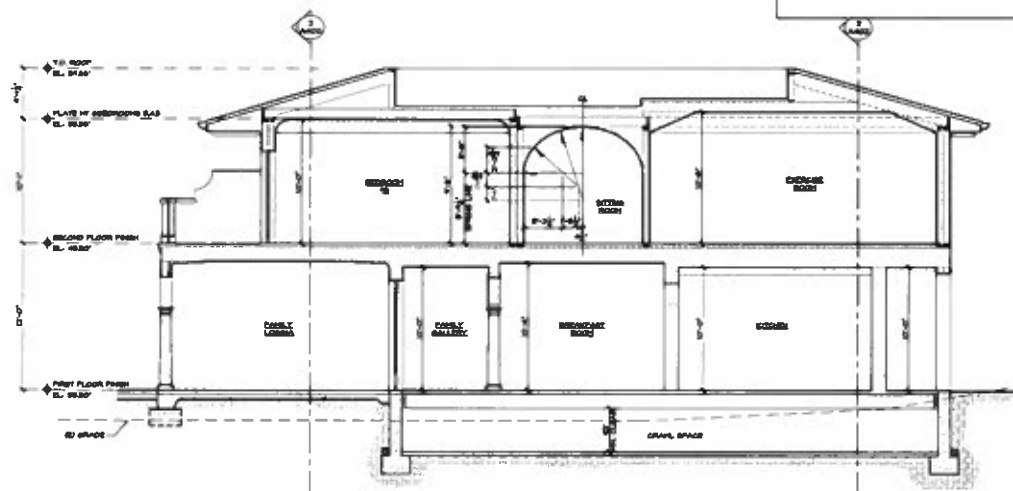
BUILDING SECTIONS



BUILDING SECTIONS 3



BUILDING SECTIONS 2



BUILDING SECTIONS 1



RICHARD MANION
ARCHITECTURE, INC.

THIS DRAWING, DESIGN CONCEPT, AND
DETAIL ARE THE PROPERTY OF RICHARD
MANION ARCHITECTURE, INC. AND SHALL NOT BE
USED FOR ANY PURPOSES OTHER THAN THE
CONSTRUCTION OF THE SPECIFIC PROJECT
INDICATED HEREON, AND SHALL NOT BE LOANED
WITHOUT PERMISSION GRANTED ON EACH
DRAWING.

ARCHITECT
RICHARD MANION ARCHITECTURE, INC.

1000 WEST CRYSTAL DRIVE, SUITE 200
LOS ANGELES, CALIFORNIA 90024
PH 310.442.1000
WWW.RMARCH.COM

PROJECT NAME AND ADDRESS
BAY VILLA RESIDENCE
800 PORTLAND ROAD
MORRISVILLE, NORTH CAROLINA 27556

NOTES
THE GENERAL CONTRACTOR SHALL SUBMIT
EVIDENCE OF VENDOR, SUPPLIER, MANUFACTURER,
AND INSTALLER TO THE OWNER AND ARCHITECT FOR
APPROVAL PRIOR TO PROCEEDING WITH ANY
INSTALLATION, CONSTRUCTION, AND MAINTENANCE
WORK WITHOUT THE WRITTEN
APPROVAL OF THE OWNER AND ARCHITECT.
ANY CHANGES TO THE DESIGN SHALL BE
SUBMITTED TO THE OWNER AND ARCHITECT FOR
APPROVAL PRIOR TO PROCEEDING WITH ANY
INSTALLATION, CONSTRUCTION, AND MAINTENANCE
WORK WITHOUT THE WRITTEN
APPROVAL OF THE OWNER AND ARCHITECT.

REVISIONS

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

PROJECT NAME AND ADDRESS AS NOTED

AS NOTED

BUILDING SECTIONS

DRAWING DATA
PROJECT NO. 180
DRAW DATE 02-04-2018

PROJECT NAME

A403



ROBERT MASON ARCHITECTURE, INC.

NAME _____ PHONE TYPE AND NUMBER _____

BAY VILLA RESIDENCE
THE PORTLAND CIRCLE
4000 BAYVIEW DRIVE

11

THE GENERAL CONTRACTOR MUST SUBMIT NUMBER OF WINDOWS, DOORS, GLAZING, CASSETS, AND RECORDS TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ANY WINDOWS, DOORS, GLAZING, CASSETS, AND GLAZING MATERIALS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE SUBJECT TO THE DISCRETION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

Investing in the Future

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
00-00-0000

EXTERIOR ELEVATIONS

CLIPPING FROM:PROJECT NO: 1100
DATE: 01-01-2000**THEY SUMMER**

A500



EXHIBIT B-20
FILE NO. 2018/SMA-58



A500



REDAIAD DESIGN ARCHITECTURE, INC.
11100 WEST OLYMPIC BLVD., SUITE 200
LOS ANGELES, CALIFORNIA 90024
PH (213) 216-0100
FAX (213) 216-0100



PROJECT TITLE AND ADDRESS:
 PERMIT TOB 11
 (HARPER RESIDENCE)
 1001 PERRY, OAK ROAD
 MONTECALA, MARYLAND
 TOB: 3-6-66-07

The following construction must meet minimum standards of strength, sound, structure, durability, and flooring to the owner and architect per approval prior to fabrication. Any structural, sound, masonry, ductwork, and flooring indicated within the working approval of the owner and architect may be replaced at the discretion of the owner and architect and subject to replacement at the expense of the general contractor.

REVISION DATE: _____

 **CAUTION: EXPLOSION DANGEROUS**
EXPLOSION DANGEROUS

CAUTION: CITY ELEVATION

ALTERATION TO
EXISTING BUILDING
PERMIT 11/28/05,
APPLICATION #
A205-11-1185. NO
COVERAGE OF FLOOR
AREA

PLAN SPANNERS ARE BASED ON A 5-1/2" T SPANNER MEASURED BY NETH SOCIETY DATED 07/08/83

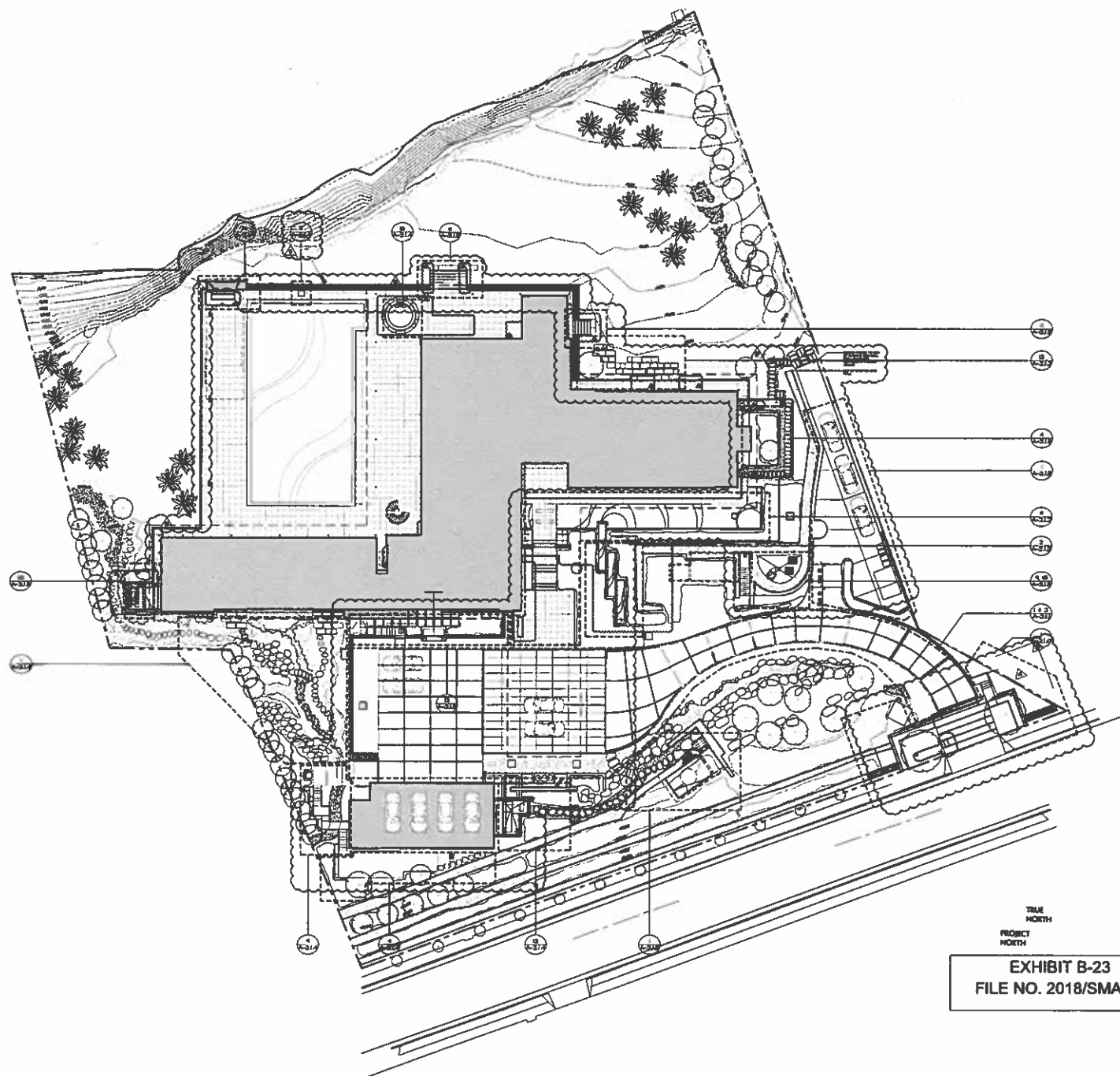
SHEET NAME AND SCALE: AS NOTED

SITE KEY PLAN

PROJECT NO: 1100		CHARGE:	
REPORT DATE: 07-27-00	REPORT BY: JTA		

! Important

A-2.0.1

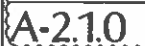


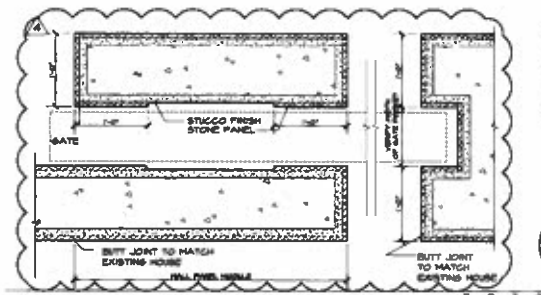
TRUE
NORTH

PROJECT
NORTH

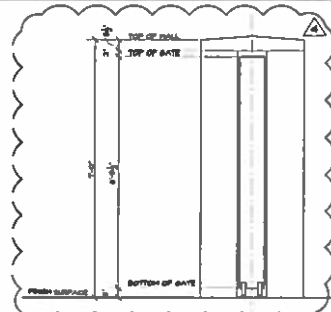
EXHIBIT B-23
FILE NO. 2018/SMA-58

SITE KEY PLAN	PLAN	1
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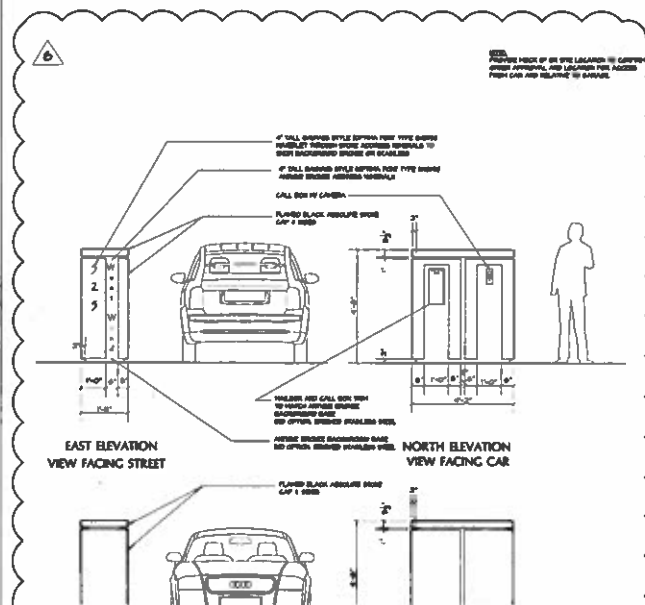




WALL SECTION DETAIL PLAN VIEW



SCHEMATIC GATE HEIGHT DETAIL



CALL BOX & MAIL BOX

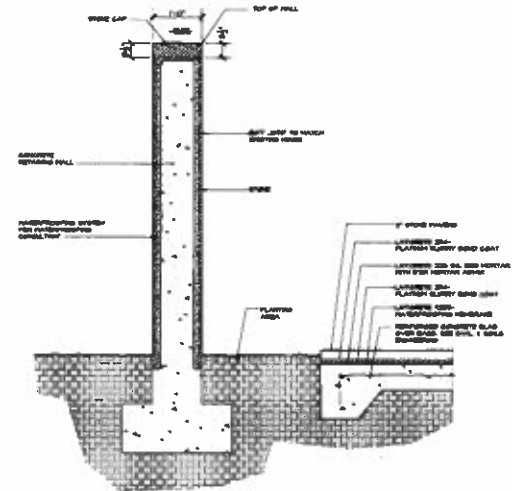
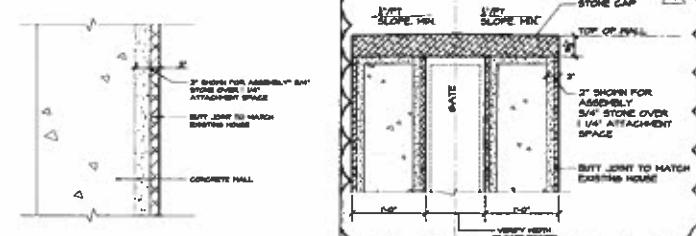
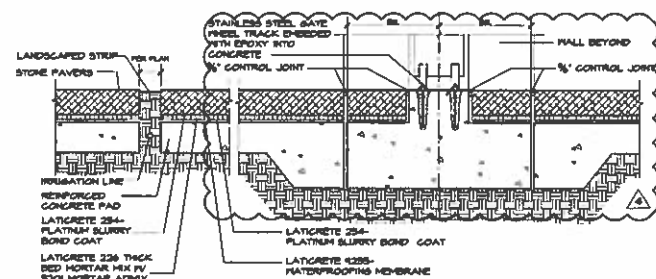


EXHIBIT B-25
FILE NO. 2018/SMA-58



BUTT JOINT DETAIL

WALL CAP DETAIL



FLOOR PAVEMENT DETAIL



RICHARD MANION
ARCHITECTURE, INC.

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MANNER WITHOUT THE WRITTEN
CONSENT OF RICHARD MANION ARCHITECTURE.

RICHARD MANION ARCHITECTURE, INC.

1100 WEST 10TH AVENUE, SUITE 200
DENVER, COLORADO 80202
PH: 303.733.1111
WWW.RICHMANION.COM



PROJECT TITLE AND ADDRESS

PERMIT 112805
800 PORTLAND ROAD
HIGHLAND, COLORADO 80430
SHEET 1 OF 1

NOTES

THE OWNER, CONTRACTOR, AND ALL
OTHERS ARE TO BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS
AND APPROVALS FOR ANY WORK TO BE
PERFORMED. ANY WORK NOT
PERMITTED BY THE CITY OF DENVER
SHALL BE THE RESPONSIBILITY OF THE
OWNER AND CONTRACTOR. THE
OWNER AND CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS
FOR ANY WORK TO BE PERFORMED.

REVISION DATA

REVISION NO. 1
DATE: 07/27/2018
BY: RMANION

ALTERATION TO
EXISTING BUILDING
PERMIT 112805,
APPLICATION 9
A205-11-1185, NO
COVERAGE OF FLOOR
AREA

PROJECT NAME AND SCALE: AS NOTED

SITE ENTRY GATE DETAILS

REVISION DATA

PROJECT NO. 1180 CHIEF
DATE: 07/27/2018 DRAWN BY: JDOY

SHEET NUMBER

A-2.10.b



RICHARD HARRISON ARCHITECTURE, INC.
11105 WEST OLYMPIC BLVD., SUITE 200
LOS ANGELES, CALIFORNIA 90024
PH (310) 576-0322
FAX (310) 576-0322



REPORT PAGE 1
KAMATE FURNISHING
ICE FORTLOCK ROAD
MERCILUNA, MARINA DELTA
TANC 3-0-02-07

THE GENERAL CONTRACTOR MUST SUBMIT SAMPLES OF WINDOWS, DOORS, MOLDINGS, CASSETTES, AND FLOORING TO THE OWNER AND ARCHITECT FOR APPROVAL, PRIOR TO FURNISHING ANY WINDOWS, DOORS, MOLDINGS, CASSETTES, AND FLOORING. MATERIALS BETWEEN THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE REJECTED AT THE DISCRETION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

4422244 CONSTRUCTION (BRIDGES, ETC.)
BRIDGES, ETC.

[illegible]

ALTERATION TO
EXISTING BUILDING
PERMIT 11/28/05,
APPLICATION #
A205-11-1185. NO
COVERAGE OF FLOOR
AREA

PLATE (CONTINUED) ARE BASED ON ADULT
OBSERVATIONS. MEASUREMENT BY JOHN COOKLEY
ON 10/10/1973.

SHEET NAME AND SCALE: AS NOTED

PROPOSED ROOF PLAN

GRAPHING DATA

PROJECT NO: 1100 ~~SECRET~~
UNCLASS DATE: 07-27-2016 CLASSIFIED BY: STS

CHRIST HANSEN

A-3.3.1

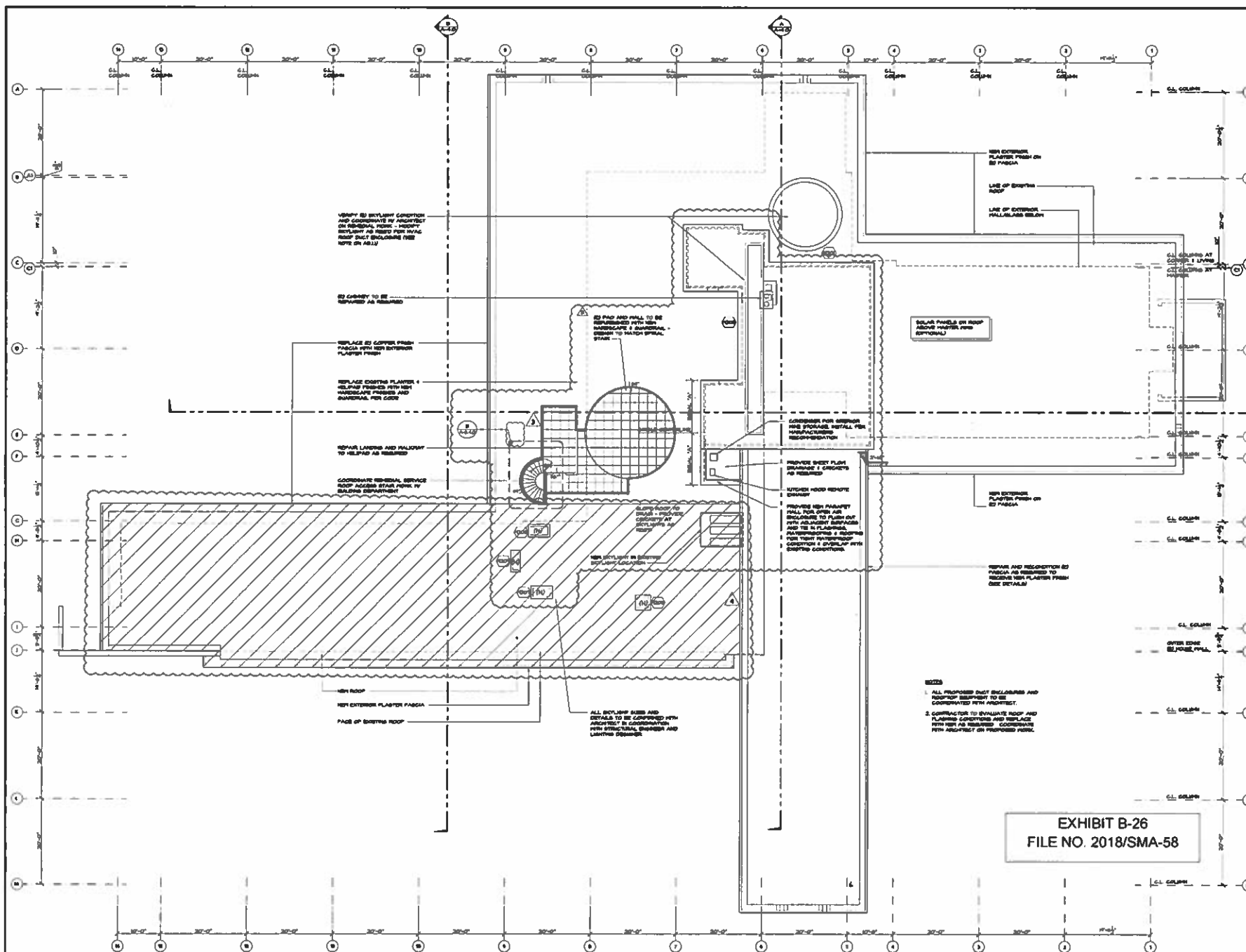
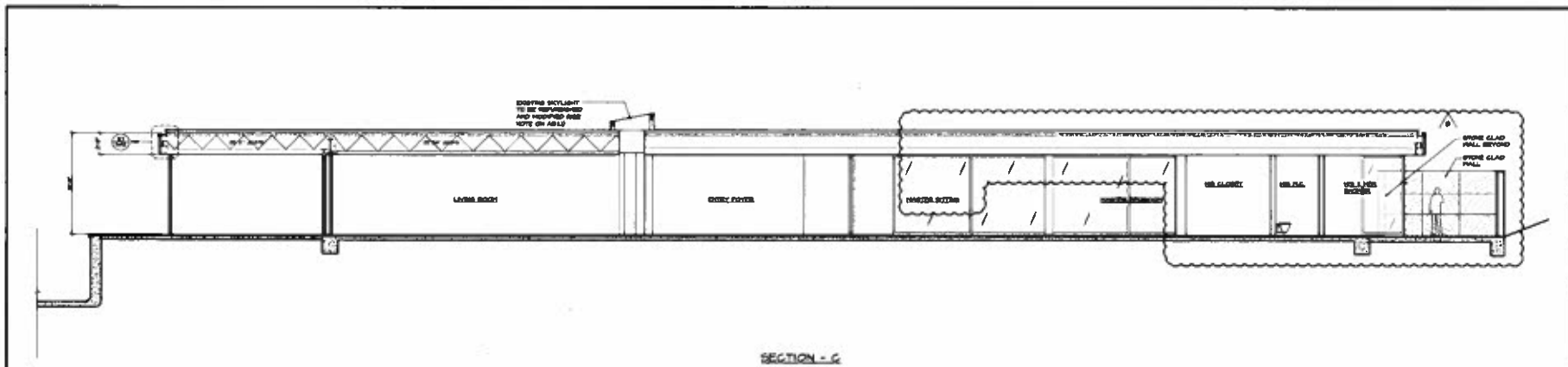
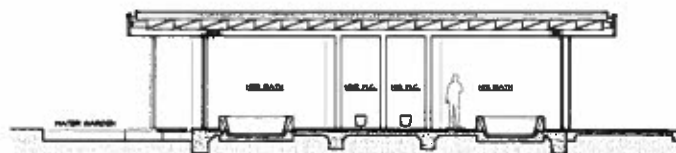


EXHIBIT B-26
FILE NO. 2018/SMA-58

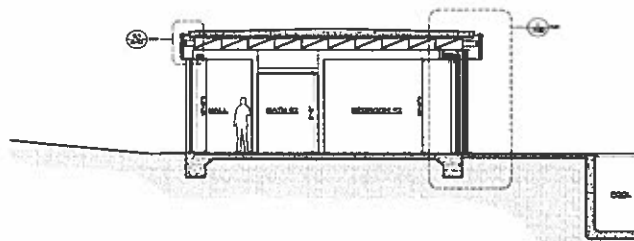


SECTION - G

BUILDING SECTIONS 3



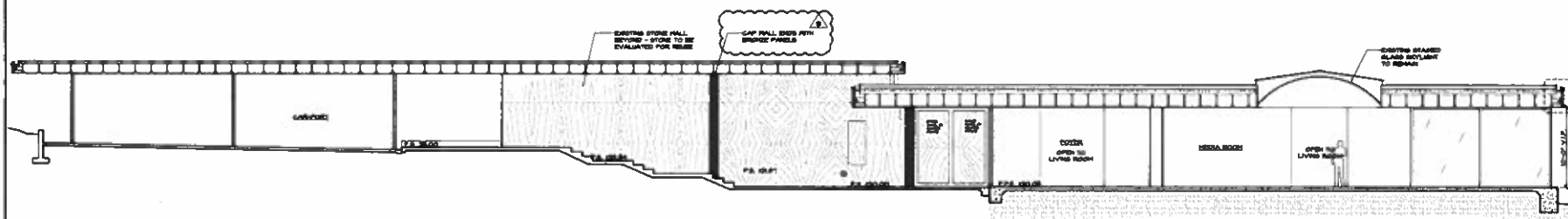
SECTION - D



SECTION - B

BUILDING SECTIONS 2

EXHIBIT B-27
FILE NO. 2018/SMA-58



SECTION - A

BUILDING SECTIONS 1



RICHARD MANION
ARCHITECTURE, INC.

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NOTES ARE THE PROPERTY OF RICHARD MANION
ARCHITECTURE, INC. AND SHALL NOT BE
REPRODUCED OR TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY
ANY INFORMATION STORAGE AND RETRIEVAL
SYSTEM, WITHOUT THE WRITTEN PERMISSION
OF RICHARD MANION ARCHITECTURE, INC.

RICHARD MANION ARCHITECTURE, INC.
1140 WEST OLIVE AVENUE, SUITE 200
LOS ANGELES, CALIFORNIA 90064
TEL: 310.555.1111 FAX: 310.555.1111



RICHARD MANION, ARCHITECT

PROJECT TITLE AND ADDRESS

PERMIT 201811
VANDERBILT UNIVERSITY
625 PORTLAND ROAD
NORTON, MASSACHUSETTS 01946
TYPE: 2-0-001

NOTES
1. THE ARCHITECT'S RESPONSIBILITY IS TO
DESIGN AND CONSTRUCT THE BUILDING
AND PROTECT THE DESIGN FROM
INFRINGEMENT. ANY VIOLATION, SUCH AS
REPRODUCTION, REPRODUCTION, OR
REPRODUCTION OF THE DESIGN AND ARCHITECT
OR ANY PART THEREOF, WITHOUT THE WRITTEN
PERMISSION OF THE ARCHITECT, IS
PROHIBITED. ANY VIOLATION OF THE
DESIGN AND ARCHITECT OR ANY PART
THEREOF, WITHOUT THE WRITTEN
PERMISSION OF THE ARCHITECT, IS
PROHIBITED.

REVISION DATA

REVISION 1: CONSTRUCTION DOCUMENT SET

REVISION 2: BUILDING SECTIONS

REVISION 3: CITY SUBMITTAL

ALTERATION TO
EXISTING BUILDING
PERMIT 11/28/05,
APPLICATION 8
A205-11-1186. NO
COVERAGE OF FLOOR
AREA

PLAN DRAWINGS ARE BASED ON A-4.0
DRAWINGS PREPARED BY RICHARD MANION
ARCHITECTURE, INC.

ORIGIN: NAME AND SCALE, AS NOTED

BUILDING SECTIONS

REVISION DATA

REVISION 1: NO 1:00

REVISION 2: NO 2:00

REVISION 3: NO 3:00

REVISION 4: NO 4:00

REVISION 5: NO 5:00

REVISION 6: NO 6:00

REVISION 7: NO 7:00

REVISION 8: NO 8:00

REVISION 9: NO 9:00

REVISION 10: NO 10:00

REVISION 11: NO 11:00

REVISION 12: NO 12:00

REVISION 13: NO 13:00

REVISION 14: NO 14:00

REVISION 15: NO 15:00

A-4.0



11400 VESPER BLVD., SUITE 200
LOS ANGELES, CALIFORNIA 90048
PH 310 994-0900
FAX 310 994-0900



PERMIT 708611
KAMRIN RESIDENCE
616 PORTLOCK ROAD
HIGHLAND, MONTANA 59906
TRK 34-0147

THE GENERAL CONTRACTOR MUST SUBMIT SAMPLES OF BRICKS, COBRAS, MOLDINGS, CHIMNEYS, AND FLOORS TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. ANY BRICKS, COBRAS, MOLDINGS, CHIMNEYS, AND FLOORS FABRICATED WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT MAY BE REJECTED AT THE DISCRETION OF THE OWNER AND ARCHITECT AND SUBJECT TO REPLACEMENT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

[illegible]

CHANDLER CITY ELECTIONS

ALTERATION TO
EXISTING BUILDING
PERMIT 11/28/06.
APPLICATION #
A205-11-1185. NO
COVERAGE OF FLOOR
AREA

PLATE 10: THE GREAT WALL OF CHINA
THE GREAT WALL OF CHINA
THE GREAT WALL OF CHINA
THE GREAT WALL OF CHINA

SHEET NAME AND SCALE, AS NOTED:

EXTERIOR ELEVATIONS

SPENDING DATA

PROJECT NO: 1100 2-25-2005
DATE: 02-25-2005 DRAWN BY: JC

1997-1998

A-5.0



NORTH ELEVATIONS



EXHIBIT B-28
FILE NO. 2018/SMA-58

